

## Chapter 2.1 RESIDENTIAL DISTRICTS (UAR, RL, RS, RM-10, RM, RH)



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### **2.1.100** **Purpose, Applicability and Location.**



A. *Purpose.* Residential Districts are intended to promote the livability, stability, safety and improvement of the City of Bend's neighborhoods based on the following principles:

- Make efficient use of land and public services, and implement the Comprehensive Plan, by providing minimum and maximum density standards for housing.
- Accommodate a range of housing needs, including owner-occupied and rental housing.
- Provide for compatible building and site design at an appropriate neighborhood scale which reflects the neighborhood character.
- Reduce reliance on the automobile for neighborhood travel and provide options for walking and bicycling.
- Provide direct and convenient access to schools, parks and neighborhood services.

B. *Applicability.* This chapter applies to all development in the Urban Area Reserve District (UAR), Low Density Residential District (RL), Standard Density Residential District (RS), Medium-10 Density Residential District (RM-10), Medium Density Residential District (RM), and High Density Residential District (RH). These districts are identified on the City's official Zoning Map. Properties designated within each district that contain

additional standards must comply with the provisions of the applicable district, except as may be modified by this section. Properties within a designated Historic District must comply with the provisions of BC Chapter [10.20](#).

**Table 2.1.100. Zone District Characteristics**

<b>Zone District</b>	<b>Location and Characteristics</b>
Urban Area Reserve (UAR)	The Urban Area Reserve District is a holding zone for urban development. The maximum residential density for the district is 1 dwelling unit per 10 gross acres.
Low Density Residential (RL)	The Low Density Residential District consists of large urban residential lots that are served with a community water system and DEQ permitted community sewer, private on-site septic systems, or municipal sewer systems. The residential density range in this district is 1.1 to 4.0 dwelling units per gross acre.
Standard Density Residential (RS)	The Standard Density Residential District is intended to provide opportunities for a wide variety of residential housing types at the most common residential densities in places where community sewer and water services are available. The residential density range in this district is 4.0 to 7.3 dwelling units per gross acre.
Medium-10 Density Residential (RM-10)	The Medium-10 Density Residential District is intended to provide opportunities for manufactured home park development and a variety of single- and multi-unit residential housing types. The density range in this district is 6.0 to 10.0 dwelling units per gross acre.
Medium Density Residential (RM)	The Medium Density Residential District is intended to provide primarily for the development of multi-unit residential in areas where sewer and water service are available. The residential density range in the district is 7.3 to 21.7 units per gross acre and must provide a transitional use area between other Residential Districts and other less restrictive areas.
High Density Residential (RH)	The High Density Residential District is intended to provide land for primarily high density multi-unit residential in locations close to shopping and services, transportation and public open space. The density range of the district is 21.7 to 43.0 units per gross acre and must provide a transitional use area between other Residential Districts and other less restrictive areas.

[Ord. NS-2423, 2021; Ord. NS-2361, 2020; Ord. NS-2353, 2019; Ord. NS-2271, 2016; Ord. NS-2251, 2015; Ord. NS-2016, 2006]

## 2.1.200

### Permitted and Conditional Uses.



A. *Permitted Uses.* The land uses listed in Table 2.1.200 are permitted in the Residential Districts, subject to the provisions of this chapter. Only land uses that are specifically listed in Table 2.1.200, land uses that are incidental and subordinate to a permitted use and land uses that are approved as “similar” to those in Table 2.1.200 may be permitted. The land uses identified with a “C” in Table 2.1.200 require conditional use permit approval prior to development, in accordance with BDC Chapter [4.4](#), Conditional Use Permits.

B. *Determination of Similar Land Use.* Similar use determinations must be made in conformance with the procedures in BDC [4.1.1400](#), Declaratory Ruling.

C. *Exceptions.* Existing uses and buildings lawfully established under previously effective land use regulations are allowed to continue subject to BDC Chapter [5.2](#), except as otherwise specified in this section.

1. Existing dwelling units that were lawfully established in their current location are treated as permitted uses in the residential zones unless originally approved through a conditional use permit, in which case they must remain subject to any applicable conditions of approval. Such uses are not subject to BDC Chapter [5.2](#) unless otherwise nonconforming.

D. *Conversions.*

1. *Duplex.* Conversion of an existing single-unit detached dwelling to a duplex is allowed; provided, that the conversion does not increase nonconformance.

2. *Triplex and Quadplex.* Conversion of an existing single-unit detached dwelling or duplex to a triplex or quadplex is allowed; provided, that the conversion does not increase nonconformance.

**Table 2.1.200 – Permitted and Conditional Uses**

Land Use	RL	RS	RM-10	RM	RH	UAR
<b>Residential</b>						
Single-unit detached dwelling	P	P	P	P	N	P
*Accessory dwelling units (ADUs)	P	P	P	P	P	P
*Manufactured homes on individual lots	P	P	P	P	N	P
*Manufactured home park	C	C	P	P	N	N
*Townhomes	P	P	P	P	P	N
*Duplex	P	P	P	P	P	N
*Triplex	P	P	P	P	P	N
*Quadplex	P	P	P	P	P	N
Residential care home (5 or fewer residents)	P	P	P	P	P	P
Adult day care	P	P	P	P	P	P
Residential care facility (6 or more residents)	N	N	C	P	P	N
Family childcare home (16 or fewer children)	P	P	P	P	P	P
*Multi-unit residential (more than 4 units)	N/P**	N/P**	P	P	P	N
Micro-units. See BDC Chapter <a href="#">3.8.200</a>	N	P	P	P	P	N
*Home business (Class A/Class B/Class C)	P	P	P	P	P	P
*Accessory uses and structures	P	P	P	P	P	P

Cottage housing development. See BDC <a href="#">3.8.500</a>	N	P	P	P	N	N
Cottage cluster development. See BDC <a href="#">3.8.900</a>	P	P	P	P	N	N
<b>*Public and Institutional</b>						
Places of worship	C	C	C	C	C	C
Clubs, lodges, similar uses	C	C	C	C	C	C
*Government offices and facilities (administration, public safety, utilities, and similar uses)	C	C	C	C	C	C
Libraries, museums, community centers, and similar uses	C	C	C	C	C	C
*Utilities (above ground)	C	C	C	C	C	C
Neighborhood parks	P	P	P	P	P	P
Community parks	C	C	C	C	C	C
Regional parks	C	C	C	C	C	C
Recreational facilities (public)	C	C	C	C	C	C
Schools	C/P** .....	C/P** .....	C/P** .....	C/P** .....	C/P** .....	C/P** .....
Cemetery/mausoleum	C	C	C	C	C	C
Child care facility (17 or more children)	C	C	C	C	C	C
Hospital	C	C	C	C	C	C
*Mobility hub	P	P	P	P	P	N
<b>*Neighborhood Commercial (See <a href="#">3.6.300(J)</a>)</b>						
Child care facility (13 or more children)	C/N*** .....	P/N*** .....	P/N*** .....	P	P	N
*Food and beverage services less than 2,000 square feet (with or without alcohol)	C/N*** .....	C/N*** .....	C/N*** .....	C/P*** .....	P	N
Laundromats and dry cleaners	C/N*** .....	C/N*** .....	P/N*** .....	P	P	N
Retail sales and services	C/N*** .....	C/N*** .....	P/N*** .....	P	P	N
Personal services (e.g., barber shops, salons, similar uses)	C/N*** .....	P/N*** .....	P/N*** .....	P	P	N
Repair services, conducted entirely within building; excluding vehicle repair, small engine repair and similar services	C/N*** .....	C/N*** .....	C/N*** .....	C/P*** .....	C/P*** .....	N

Offices and clinics	C/N***	C/N***	P/N***	P	P	N
Mixed-use building	C/N***	C/N***	P/N***	P	P	N
<b>*Miscellaneous Uses</b>						
Bed and breakfast inn	C	C	C	C	C	C
Boarding kennel	N	N	N	N	N	C
Destination resorts	N	N	N	N	N	C
Diagnostic testing, counseling, administrative offices, meeting facilities for nonprofit and public community service programs for children and families.	C	C	C	C	C	N
Farm use, agriculture	N	N	N	N	N	P
Office uses lawfully existing prior to the adoption date of the ordinance codified in this code	N	N	N	P	P	N
<b>*Plant nursery</b>						
• Existing	P	P	P	P	P	P
• New (limited to 1 acre)	C	C	C	C	N	C
• New (larger than 1 acre)	N	N	N	N	N	C
<b>*Shelters</b>	P	P	P	P	P	P
<b>*Short-term rental</b>	P	P	P	P	P	P
<b>*Small hydroelectric facility</b>	P	P	P	P	P	P
Veterinary clinic						
• Small animal (only)	C	N	N	N	N	N
• Large animal	C	N	N	N	N	C
Wireless and broadcast communication facilities	See BDC Chapter <a href="#">3.7</a>					

**Key to Districts:**

UAR = Urban Area Reserve

RL = Low Density Residential

RS = Standard Density Residential

RM = Medium Density Residential

RM-10 = Medium-10 Density Residential

RH = High Density Residential

**Key to Permitted Uses**

P = Permitted, subject to BDC Chapter [4.1](#), Development Review and Procedures

N = Not Permitted

C = Conditional Use, subject to permit standards in BDC Chapter [4.4](#).

\* Subject to special standards as described in BDC [2.1.900](#), Architectural Design Standards, and/or BDC Chapter [3.6](#), Special Standards and Regulations for Certain Uses.

\*\* Permitted as part of a master plan subject to BDC Chapter [4.5](#).

\*\*\* Neighborhood commercial sites adjacent to a commercial or mixed-use Comprehensive Plan map designation. See BDC [3.6.300\(J\)](#), Neighborhood Commercial Sites.

Note: Existing Neighborhood Commercial (CN) Zoned properties will remain as mapped recognizing neighborhood commercial properties established prior to the adoption of this code. The development of these sites must conform to the standards outlined in BDC Chapter [3.6](#), Special Standards and Regulations for Certain Uses, for the uses described above. [Ord. NS-2463, 2023; Ord. NS-2443, 2022; Ord. NS-2423, 2021; Ord. NS-2389, 2020; Ord. NS-2353, 2019; Ord. NS-2303, 2018; Ord. NS-2289, 2017; Ord. NS-2271, 2016; Ord. NS-2264, 2016; Ord. NS-2260, 2016; Ord. NS-2251, 2015; Ord. NS-2241, 2015; Ord. NS-2240, 2015; Ord. NS-2158, 2011; Ord. NS-2016, 2006]

## 2.1.300 Setbacks.



A. *Purpose.* Setbacks provide private outdoor living space, building separation for fire protection/security, building maintenance, and sunlight and air circulation. The setback standards encourage placement of residences close to the street for public safety and neighborhood security.

B. *Setback Standards.* The following setback standards apply to all structures, except as otherwise provided by this section or specified in this code. See also special setbacks permitted in BDC [3.6.200](#), Special Standards for Residential Uses, and BDC Chapter [3.8](#), Development Alternatives.

C. *Front Setbacks.*

1. *RL and UAR Districts.* The minimum front setback is 20 feet.
  - a. *Exception.* On corner or through lots with two frontages within a platted land division, one front setback may be 10 feet; provided, that a garage and/or carport with a street access is set back a minimum of 20 feet.
2. *RS, RM-10, RM, and RH Districts.* The minimum front setback is 10 feet. Garages and carports with street access must be set back a minimum of 20 feet from the front property line.
3. Where streets with insufficient right-of-way abut the site, special setbacks apply in conformance with BDC [3.4.200\(J\)](#), Special Setbacks.

D. *Rear Setbacks.*

1. *RL and UAR Districts.* The minimum rear setback is 20 feet.

Exception. In the RL Zone on corner lots within a platted subdivision, the minimum rear setback is 10 feet.

2. *RS, RM-10, RM and RH Districts.* The minimum rear setback is five feet. When multi-unit residential or nonresidential uses abut a single-unit detached dwelling in the RS District, the rear setback abutting the RS District must increase one-half foot for each foot by which the building height exceeds 20 feet.

Exception: Development in conformance with the provisions of BDC Chapter [3.8](#), Development Alternatives.

E. *Side Setbacks.*

1. *RL and UAR Districts.* The minimum side setback is 10 feet.

2. *RS, RM-10, RM and RH Districts.* The minimum side setback is five feet. When multi-unit residential or nonresidential uses abut a single-unit detached dwelling in the RS District, the side setback abutting the RS District must increase one-half foot for each foot by which the building height exceeds 20 feet.

Exception: Development in conformance with the provisions of BDC Chapter [3.8](#), Development Alternatives.

**Table 2.1.300 – Typical Residential District Setbacks**

	<b>Front</b>	<b>Rear</b>	<b>Side</b>
UAR	10 ft./20 ft.	20 ft.	10 ft.
RL	10 ft./20 ft.	10 ft./20 ft.	10 ft.
RS	10 ft., except garages and/or carports must be set back 20 ft.	5 ft.* .....	5 ft.* .....
RM-10, RM and RH	10 ft., except garages and/or carports must be set back 20 ft.	5 ft.* .....	5 ft.* .....

\* When multi-unit residential or nonresidential uses abut one or more dwelling units in the RL or RS District, the setback abutting the RL or RS District must increase one-half foot for each foot by which the building height exceeds 20 feet. Where a fractional number results, the number may be rounded down to the nearest whole number.

F. *Additional Setback Requirements.*

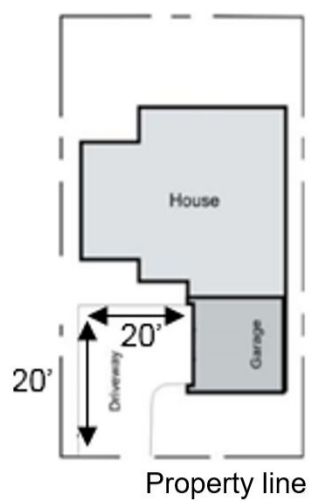
1. *Garages and Carports.*

a. Where the side or rear wall of the garage faces the street, the front setback for the garage side or rear wall must be a minimum of 10 feet from the front property line for RS, RM, RM-10 and RH and 20 feet for RL. The garage must have a window(s) in the side or rear wall facing the street that is a minimum of six square feet.

b. *Alley Access.* Where an existing alley is less than 20 feet in width, the setback abutting the alley must be increased to provide a minimum of 24 feet for maneuvering and backing movements from garages, carports and/or parking areas. As shown in Figure 2.1.300, side entry garages that access an alley must also have a driveway with a minimum length of 20 feet from the garage door to the side property line.

c. *Street Access.* As shown in Figure 2.1.300, side entry garages that access a street must have a driveway with a minimum length of 20 feet from the front and side property lines.

**Figure  
2.1.300.**



2. *Townhomes.* Setbacks for lot lines where townhouse units are attached are zero.

3. *Clear Vision Areas.* All structures must comply with this section, except as necessary to comply with BDC [3.1.500](#), Clear Vision Areas.

4. *Bridges.* Bridges that form the driveway or pedestrian access from the abutting street or alley are permitted in the setbacks.

5. *Architectural Features.* Except as prohibited in subsection [\(F\)\(6\)](#) of this section, the following architectural features are allowed to encroach into the front, side and rear setbacks by no more than two feet provided a minimum setback of three feet is provided from the property line: eaves, chimneys including fireplace enclosures and chimney chases, bay windows up to eight feet in width, window wells, and similar architectural features.

6. *Front Setbacks.* The following may encroach into the front setback:

a. *RL and UAR.* An unenclosed covered or uncovered porch, patio, deck or stoop with a maximum floor height not exceeding 18 inches may be set back a minimum of 10 feet, as long as it does not encroach into a public utility easement. No portion of the structure can encroach closer than 10 feet including the architectural features in subsection [\(F\)\(5\)](#) of this section.

b. *RS, RM, RM-10 and RH.* An unenclosed covered or uncovered porch, patio, deck or stoop with a maximum floor height not exceeding 18 inches may be set back a minimum of six feet from the front property line, as long as it does not encroach into a public utility easement. No portion of the structure can encroach closer than six feet to the front property line including the architectural features in subsection [\(F\)\(5\)](#) of this section.

c. Stairs, ramps and landings that are not roofed or enclosed above or below the steps may be in the front setback when they follow the grade.

7. *Side and Rear Setbacks.* The following may encroach into the side and rear setback in the UAR, RL, RS, RM, RM-10 and RH:

a. An uncovered porch, patio, deck or stoop located above finished grade with a maximum floor height not exceeding 18 inches must be set back a minimum of 18 inches from the side and rear property lines, as long as it does not encroach into a public utility easement.

b. Uncovered patios at finished grade are exempt from setbacks as long as it does not encroach into a public utility easement.

c. Stairs, ramps and landings that are not roofed or enclosed above or below the steps may be in the side and rear setback when they are at ground level and follow the grade.

G. *Prohibited in Setbacks.* The following are prohibited, unless stated otherwise, within the following setbacks:

1. *Front Setbacks.* Satellite dishes greater than 18 inches in diameter, heat pumps and other similar objects.
2. *Side and Rear Setbacks.* Satellite dishes greater than 18 inches in diameter, heat pumps and other similar objects, unless screened for visual and noise abatement by a solid enclosure two feet higher than the object/use being screened.
3. *Balconies.* [Ord. NS-2463, 2023; Ord. NS-2423, 2021; Ord. NS-2389, 2020; Ord. NS-2353, 2019; Ord. NS-2314, 2018; Ord. NS-2303, 2018; Ord. NS-2289, 2017; Ord. NS-2260, 2016; Ord. NS-2251, 2015; Ord. NS-2082, 2007; Ord. NS-2016, 2006]

## 2.1.400 Building Mass and Scale.



Repealed by [Ord. NS-2423](#).

## 2.1.500 Lot Area and Dimensions.



Lot areas and lot dimension standards for residential uses are listed in Table 2.1.500. For other residential uses listed in Table 2.1.200, the lot area and dimensions are subject to the type of residential structure being occupied. Lot development must be in conformance with BDC [2.1.600](#), Residential Density. Lot area and dimensions exceptions for affordable housing, see BDC [3.6.200\(C\)](#).

**Table 2.1.500. Lot Areas and Dimensions in the Residential Districts by Housing Type and Zone**

Residential Use	Zone	Minimum Lot Area	Minimum Lot Width/Depth	Exceptions
Single-Unit Detached Dwelling; Manufactured Homes on Lots (See BDC <a href="#">3.6.200(E)</a> ); Residential Care Homes and Facilities (See BDC <a href="#">3.6.200(J)</a> )	UAR	10 acres	Width: 300 ft. min. average lot width with a min. street frontage of 150 ft.	No exceptions permitted

	RL	10,000 sq. ft.	Width: 50 ft. at front property line Depth: 100 ft.	Bulb of a cul-de-sac minimum width: 30 ft. min. at the front property line except for townhomes and flag lots Except for townhomes, corner lots or parcels must be at least five feet more in width than the minimum lot width required in the zone Lots or parcels existing prior to November 5, 2021, that are less than 2,500 square feet in the RH Zone may have a triplex or a quadplex Development alternatives: see BDC Chapter <a href="#">3.8</a>
	RS RM-10	4,000 sq. ft.	Width: 40 ft. at front property line Depth: 50 ft.	
	RM	2,500 sq. ft.	Width: 30 ft. at the front property line Depth: 50 ft.	
	RH	Not applicable	Not applicable	
Duplex, Triplex, and Quadplex. See BDC <a href="#">3.6.200(H)</a>	UAR	Not applicable	Not applicable	
	RL	Duplex: 10,000 sq. ft. Triplex: 10,000 sq. ft. Quadplex: 10,000 sq. ft.	Width: 50 ft. at front property line Depth: 100 ft.	
	RS RM-10	Duplex: 4,000 sq. ft. Triplex: 4,000 sq. ft. Quadplex: 4,000 sq. ft.	Width: 40 ft. at front property line Depth: 50 ft.	
	RM	Duplex: 2,500 sq. ft. Triplex: 4,000 sq. ft. Quadplex: 4,000 sq. ft.	Width: 30 ft. at the front property line Depth: 50 ft.	
	RH	Duplex: 1,250 sq. ft. Triplex: 2,500 sq. ft. Quadplex: 2,500 sq. ft.		
Townhomes See BDC <a href="#">3.6.200(D)</a>	UAR	Not applicable	Not applicable	
	RL, RS, RM-10, RM	Average minimum lot or parcel size: 1,500 sq. ft. for each unit	Width: 20 ft. at front property Depth: 50 ft.	
	RH	Average minimum lot or parcel size: 1,200 sq. ft. for each unit		

Multi-Unit Dwelling (more than 4 units)	UAR	Not applicable	Not applicable	
	RL <sup>*</sup> , RS <sup>*</sup> , RM-10	4,000 sq. ft. for each unit	Width: 30 ft. at front property line Depth: 50 ft.	
	RM, RH	None		

\* When permitted as part of a master plan subject to BDC Chapter 4.5, Master Plans.

[Ord. NS-2434, 2022; Ord. NS-2423, 2021; Ord. NS-2389, 2020; Ord. NS-2361, 2020; Ord. NS-2353, 2019; Ord. NS-2318, 2018; Ord. NS-2314, 2018; Ord. NS-2289, 2017; Ord. NS-2271, 2016; Ord. NS-2113, 2009; Ord. NS-2016, 2006]

## 2.1.600 Residential Density.



A. *Residential Density Standard.* The following density standards apply to all new development in all of the Residential Districts, except as specified in subsection (B) of this section. The density standards shown in Table 2.1.600 are intended to ensure efficient use of buildable lands and provide for a range of needed housing, in conformance with the Bend Comprehensive Plan.

1. The density standards may be averaged over more than one development phase (i.e., as in a subdivision or Master Planned Development).

**Table 2.1.600. Residential Densities**

Residential Zone	Density Range
Urban Area Reserve (UAR10)	1 unit/10 gross acres
Low Density Residential (RL)	1.1 – 4.0 units/gross acre
Standard Density Residential (RS)	4.0 – 7.3 units/gross acre
Medium Density Residential (RM-10)	6.0 – 10.0 units/gross acre
Medium Density Residential (RM)	7.3 – 21.7 units/gross acre
High Density Residential (RH)	21.7 – 43 units/gross acre

B. *Exemptions.*

1. The following are exempt from the density standards in subsection (A) of this section:
  - a. Residential care homes/facilities.
  - b. Bed and breakfast inns.
  - c. Nonresidential uses, including neighborhood commercial uses, public and institutional uses, and miscellaneous uses that do not include a dwelling unit.
  - d. Buildings that are listed in the Inventory of Historic Sites within the Bend Area Comprehensive Plan Exhibit “A” or buildings designated on the Historic National Landmarks Register.
  - e. Replacement, renovation, or expansion of existing dwelling unit(s) in any zone provided the number of dwelling units does not change.

- f. Development on a vacant lot or parcel consistent with an approved land division, except tracts identified for future phases.
2. The following are exempt from the maximum density standards in subsection (A) of this section:
    - a. Accessory dwelling units (ADUs).
    - b. Manufactured home parks within the RS Zone; provided, that the standards of BDC 3.6.200(G) are met.
    - c. Duplexes, triplexes, quadplexes, townhomes and cottage cluster developments.
    - d. Multi-unit affordable dwellings. See BDC 3.6.200(C).

3. The following are exempt from the minimum density standards in subsection (A) of this section:

- a. Residential infill, as defined in BDC Chapter 1.2.
- b. Partitions on properties that are large enough to be divided into four or more lots; provided, that the size of the resulting parcels and siting of dwellings allow future development on these parcels at minimum densities.

C. *Density Calculation.*

1. Maximum housing densities are calculated as follows:
  - a. The area subject to maximum housing density is the total site area excluding any land to be developed with or dedicated for neighborhood commercial uses, public and institutional uses, and miscellaneous uses that do not include a dwelling unit.
  - b. The area for future streets is included in the area subject to maximum housing density.
  - c. Where existing streets abut the proposed development site, the area of up to 30 feet of the abutting street width multiplied by the site frontage shall be added to the area subject to maximum housing density.
  - d. Sensitive lands, fire breaks, and canals and their associated easements on the site are included in the area subject to maximum housing density.
  - e. For purposes of calculating maximum density, fractional units are rounded down to the next whole unit.
  - f. As an illustrative example, if the total site area is five acres, of which a half-acre is sensitive lands, and another acre will be developed with neighborhood commercial uses, and new streets will be created, the area subject to maximum housing density is four acres (total site area minus one acre of neighborhood commercial uses, but including the sensitive lands). If the maximum allowable density is 7.3 dwelling units per acre, then a maximum number of 29 units is allowed on the site.
2. Minimum housing densities are calculated as follows:
  - a. The area subject to minimum housing density is the total site area excluding any land to be developed with or dedicated for neighborhood commercial uses, public and institutional uses, and miscellaneous uses that do not include a dwelling unit; sensitive lands; fire breaks; and canals and their associated easements.

- b. The area for future streets is included in the area subject to minimum housing density.
- c. For purposes of calculating minimum density, fractional units are rounded up to the next whole unit.
- d. As an illustrative example, if the total site area is five acres, of which a half-acre is sensitive lands, and another acre will be developed with neighborhood commercial uses, and new streets will be created, the area subject to minimum housing density is three and one-half acres (total site area minus one acre of neighborhood commercial uses, minus a half-acre of sensitive lands). If the minimum density is 4.0 dwelling units per acre, then a minimum number of 14 units is required on the site.

3. Where a property is within multiple zoning districts, the minimum and maximum number of units is calculated based on the acreage in each Residential Zone that is subject to the density standard as specified above multiplied by the applicable minimum and maximum density standards. Areas with nonresidential zones are excluded from the density calculation.

D. *Density Bonus for Affordable Housing.* See BDC [3.6.200\(C\)](#). [Ord. NS-2434, 2022; Ord. NS-2423, 2021; Ord. NS-2389, 2020; Ord. NS-2318, 2018; Ord. NS-2314, 2018; Ord. NS-2303, 2018; Ord. NS-2271, 2016; Ord. NS-2260, 2016; Ord. NS-2241, 2015; Ord. NS-2016, 2006]

## 2.1.700

### Maximum Lot Coverage and Floor Area Ratio.



A. *Maximum Lot Coverage and Floor Area Ratio.* The following maximum lot coverage and floor area ratio standards apply:

**Table 2.1.700. Residential Lot Coverage**

Residential Zone	Lot Coverage	FAR
Low Density Residential (RL)	35%	None
Standard Density Residential (RS), and Medium-10 Density Residential (RM-10)	50% for lots or parcels with single-story dwelling unit(s) and single-story accessory structures. 45% for all other lots or parcels.	1.1 for three-story residential uses and accessory structures. None for all other uses.
Medium Density Residential (RM)	50% for lots or parcels with single-story single-unit detached dwelling unit(s) and single-story accessory structures. 45% for all other lots or parcels with single-unit detached dwellings and accessory structures and nonresidential uses. 60% for lots or parcels with townhomes, duplexes, triplexes, quadplexes and multi-unit and accessory structures.	None

High Density Residential (RH)	None	None
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B. *Exceptions.*

1. *Lot Coverage for Affordable Housing.* See BDC [3.6.200\(C\)](#).
2. Development in conformance with the provisions of BDC Chapter [3.8](#), Development Alternatives. [Ord. NS-2423, 2021; Ord. NS-2314, 2018; Ord. NS-2271, 2016; Ord. NS-2241, 2015; Ord. NS-2016, 2006]

## 2.1.800 Building Height.



The following building height standards are intended to promote land use compatibility and support the principle of neighborhood-scaled design:

A. *Standard.* The following building heights apply to all development within the Residential District:

1. Buildings within the UAR, RL, RS and RM-10 Districts may be no more than 35 feet in height.
2. Buildings within the RM Zone may be no more than 40 feet in height.
3. Buildings within the RH Districts may be no more than 50 feet in height.

B. *Exceptions to Maximum Building Height Standard for Affordable Housing.* See BDC [3.6.200\(C\)](#). [Ord. NS-2423, 2021; Ord. NS-2314, 2018; Ord. NS-2303, 2018; Ord. NS-2271, 2016; Ord. NS-2241, 2015; Ord. NS-2082, 2007; Ord. NS-2016, 2006]

## 2.1.900 Architectural Design Standards.



A. *Purpose.* The architectural standards are intended to provide detailed, human-scale design, while affording flexibility to use a variety of building styles for certain types of residential development.

B. *Applicability.* This section applies to all of the following types of buildings:

1. Multi-unit residential;
2. Public and institutional buildings in Residential Zones;
3. All other types of permitted/conditional nonresidential use buildings listed in Table 2.1.200 when built in a Residential Zone.

a. *Exemption.* Neighborhood commercial uses listed in Table 2.1.200.

C. *Standards.* All buildings that are subject to this section shall comply with all of the following standards. The graphics provided with each standard are intended to show examples of how to comply. Other building styles and designs can be used to comply, so long as they are consistent with the text of this section. An architectural feature (i.e., as shown in the graphics) may be used to comply with more than one standard.

1. *Building Form.* All buildings shall incorporate design features such as offsets, balconies, projections, window reveals, or similar elements to preclude large expanses of uninterrupted building surfaces, as shown in the figure below. Along

the vertical face of a structure, such features shall occur at a minimum of every 40 feet, on each floor, and shall contain at least two of the following features:

- a. Recess (e.g., deck, patio, courtyard, entrance or similar feature) that has a minimum depth of six feet;
- b. Extension (e.g., floor area, deck, patio, entrance, or similar feature) that projects a minimum of two feet and runs horizontally for a minimum length of four feet; and/or
- c. Offsets or breaks in roof elevation of two feet or greater in height.

**Figure 2.1.900.A. Building Form (Multi-Unit Dwelling Example)**



2. *Building Orientation.* All building elevations adjacent to a street right-of-way shall provide doors, porches, balconies, and/or windows. A minimum of 40 percent of front (i.e., street-facing) elevations, and a minimum of 30 percent of side and rear building elevations, shall meet this standard. **Percent of elevation** is measured as the horizontal plane (lineal feet) containing doors, porches, balconies, terraces and/or windows. The standard applies to each full and partial building story.

Exceptions:

- a. A multi-unit building may have its entrance oriented to a side yard when a direct pedestrian walkway is provided between the building entrance and the street in accordance with the standards in BDC Chapter [3.1](#), Lot, Parcel and Block Design, Access and Circulation. In this case, at least one entrance shall be provided not more than 30 feet from the closest sidewalk or street.
- b. A multi-unit building may be oriented to a common use courtyard.

3. *Detailed Design.* All buildings shall provide detailed design along all elevations which are visible from the street(s) adjacent to the property (i.e., front, rear and sides). There are two options for complying with this requirement.

- a. *Menu Option (Type I).* Detailed design shall be provided by using at least six of the following 12 architectural features on all applicable elevations, as appropriate for the proposed building type and style (may vary features on rear/side/front elevations).

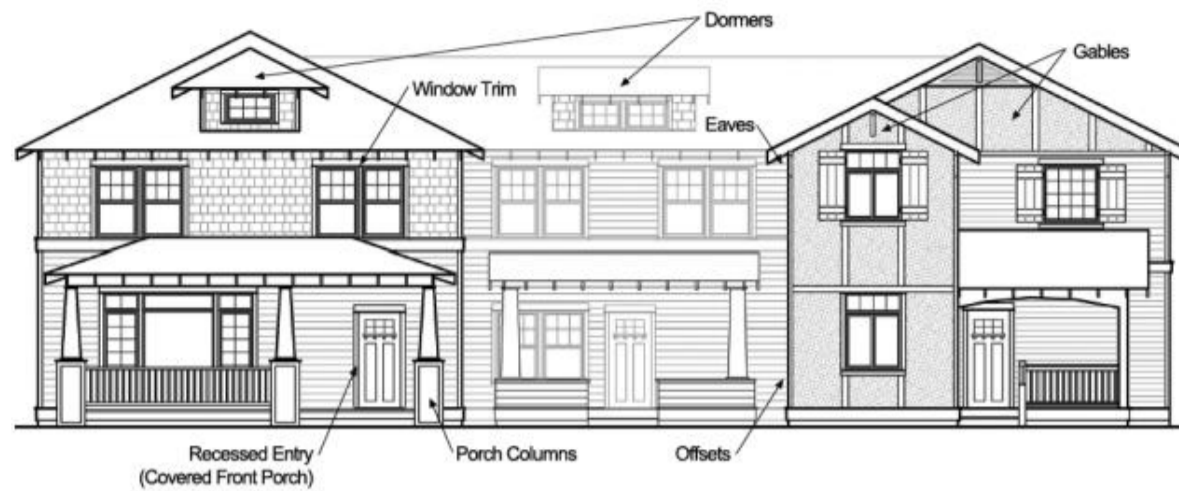
These features shall be reviewed by a Type I application as per BDC [4.1.300](#):

Dormers	Gables
Recessed entries	Covered porch entries
Cupolas	Pillars or posts
Eaves (minimum 12-inch projection)	Window trim (minimum four inches wide)
Bay windows	Balconies

Offsets in the building face or roof  
by a minimum of 18 inches

Decorative patterns on the exterior  
finish using shingles, wainscoting,  
board and batt.

**Figure 2.1.900.B. Examples of Architectural Details**



b. Design Review Option (Type II). Detailed design shall be provided by showing compliance with the following design criteria through a Type II application and review per BDC [4.1.400](#), Type II and Type III Applications.

i. The general size, shape, and scale of the structure(s) are architecturally compatible with the site and with the surrounding neighborhood, unless such compatibility with existing structures does not reflect the long-term purpose or intent of the underlying zoning of the subject site.

ii. If the project includes a large structure or structures (greater than 20,000 square feet), the design shall incorporate changes in direction and divide large masses into varying heights and sizes by breaking up building sections, or by the use of such elements as variable planes, projections, bays, dormers, setbacks, canopies, awnings, parapets, changes in the roofline, materials, color, or textures.

iii. Exterior finish on vertical surfaces shall be primarily of materials such as masonry/wood siding, shingles, or stucco. The use of sheet metal or plywood shall not exceed 50 percent of the wall area. No smooth-faced cinder block construction shall be permitted on front facades. Cinder block construction for side and rear facades shall be permitted by approval as part of this review process. [Ord. NS-2423, 2021; Ord. NS-2353, 2019; Ord. NS-2318, 2018; Ord. NS-2271, 2016; Ord. NS-2260, 2016; Ord. NS-2016, 2006]

## 2.1.950

### Design Standards (Triplex, Quadplex and Townhome).



A. *Applicability.* This section applies to all of the following types of buildings:

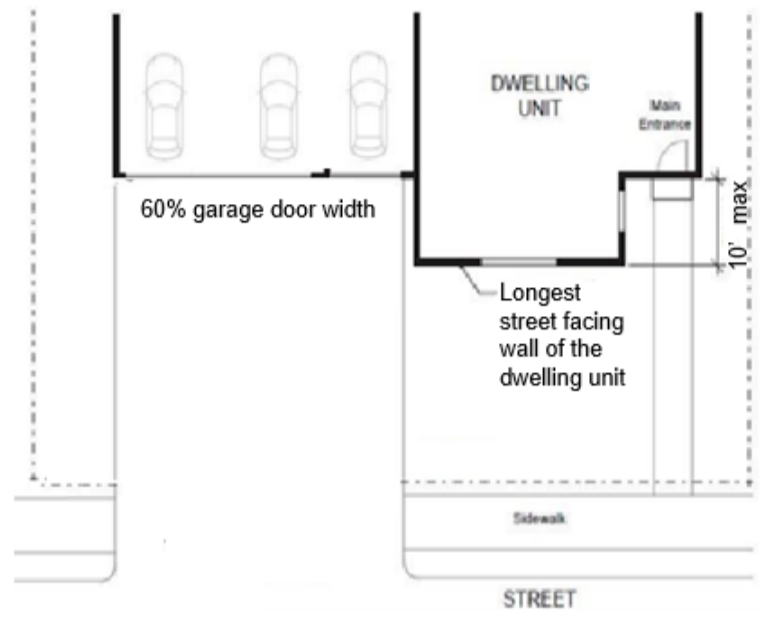
1. Triplex.
2. Quadplex.
3. Townhome.

For purposes of this section, a "street" also means a tract for mid-block developments and T-courts.

B. *Garage Door Standards.* The maximum combined garage door width facing the street is 50 percent of the total building width. As shown in Figure 2.1.950.B, the maximum combined garage door width facing the street may be up to 60 percent of the total building width if the front door entrance is within 10 feet of the longest street-facing wall of the dwelling unit.

1. *Exemptions to Garage Door Standards.*
  - a. Existing garages legally constructed prior to November 5, 2021.
  - b. When the side or rear wall of the garage faces the street, provided the standards of BDC [2.1.300\(F\)\(1\)\(a\)](#) are met.

**Figure 2.1.950.B.**



C. *Front Door Orientation Standards.* The following front door orientation standards are required for lots and parcels with frontage onto a street. For triplexes and quadplexes, these standards are only required to be met for one of the dwelling units. The entrance must either:

1. Face the street;
  2. Be at an angle of up to 45 degrees from the street;
  3. Face a common open space that abuts the street and be abutted by dwellings on at least two sides; or
  4. Open onto a porch. The porch must be at least 20 square feet in area and have at least one entrance facing the street or have a roof. A covered walkway or breezeway is not a porch.
5. *Exemptions to Orientation Standards.*
- a. Triplexes, quadplexes and townhomes created by a conversion of an existing dwelling unit.
  - b. Dwelling units located on the flag portion of a flag lot.

D. *Windows and Doors.* A minimum of 15 percent of the area of all street facing facades must include windows and/or doors. Gabled areas and garage doors (in blue) and roofs (in white) are not included in the base wall calculation when determining the minimum 15 percent calculation for windows/door areas. Facades separated from the street property line by a dwelling are exempt from meeting this standard.

**Figure 2.1.950.D.**



[Ord. NS-2463, 2023; Ord. NS-2434, 2022; Ord. NS-2423, 2021]

## 2.1.1000 Multi-Unit Residential Districts (RM, RH).



A. *Purpose/Intent Statement.* The Medium and High Density Residential Districts are intended to provide land for a mix of attached and multi-unit dwellings in locations that are convenient to service commercial uses and future transit opportunities.

B. *Development Standards for Multi-Unit Developments in the RM and RH Districts.* In addition to the site development standards in BDC Chapter [4.2](#), the following standards apply to multi-unit developments of five units or more, unless otherwise stated:

1. *Common Open Space.* In addition to the required setback yards, a minimum of 10 percent of the site area must be designated and permanently reserved as usable common open space in all large-scale (20 units or more) multiple-unit developments, unless a credit in subsection [\(B\)\(1\)\(a\)](#) of this section is approved. The site area is defined as the lot or parcel on which the development is planned, after subtracting any required dedication of street right-of-way and other land for public purposes (e.g., public park or school grounds, etc.). Sensitive lands and historic buildings or landmarks open to the public and designated by the Bend Comprehensive Plan may be counted toward meeting the common open space requirements.

a. *Credit for Proximity to a Park.* A common open space credit of 50 percent may be granted when the development is located within one-quarter mile walking distance of a public park; and there is a direct, accessible, and maintained trail or sidewalk between the development and the park that does not cross an arterial or collector street.

2. *Private Open Space.* Private open space areas are required for ground-floor and upper-floor housing units through compliance with all of the following standards:

a. Ground-floor housing units must have patios or decks at least four feet deep and measuring at least 48 square feet. **Ground-floor housing** means the housing unit entrance (front or rear) is within five feet of the finished ground elevation, after grading and landscaping;

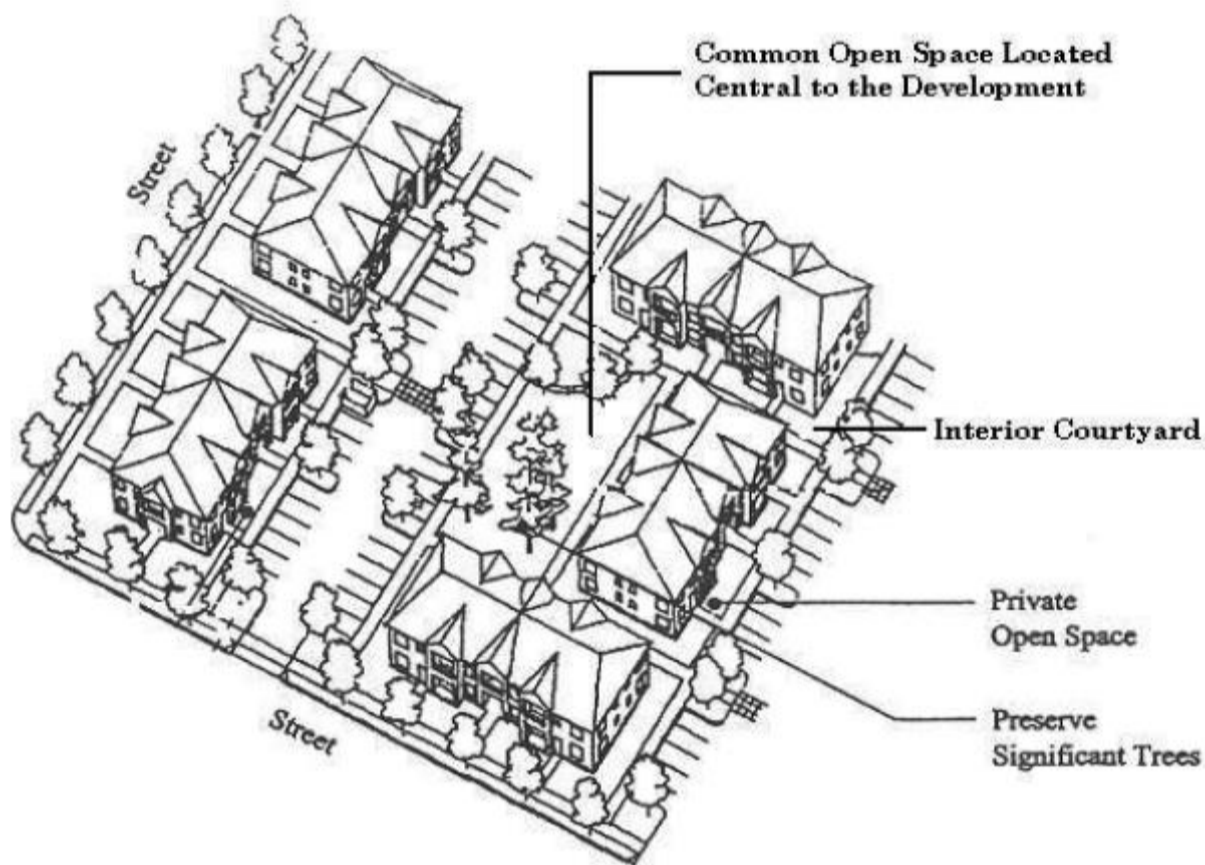
b. A minimum of 50 percent of all upper-floor housing units must have balconies or porches at least four feet deep and measuring at least 48 square feet. **Upper-floor housing** means housing units that are more than five feet above the finished grade, after grading and landscaping; and

c. Ground-floor private open space areas must not be located within 12 feet of trash receptacles.

3. *Trash Receptacles.* Trash receptacles must not be located within setbacks for property lines shared with single-unit detached and attached dwellings and must be screened on at least three sides with an evergreen hedge or solid fence or wall of not less than six feet in height. Receptacles must be located for easy access by trash pick-up vehicles.

C. *Housing Mix Standards in the RM District.* In order to ensure a mix of housing types that meets the City's overall housing needs, in addition to minimum and maximum density standards in BDC [2.1.600](#), at least 50 percent of the total housing units in residential developments on any property or combination of properties between three acres and 20 acres in the RM District must be middle housing and/or multi-unit dwellings. The standards of BDC [4.5.200\(E\)](#) apply to properties of 20 acres in size and greater.

**Figure 2.1.1000.A. Multi-Unit Dwellings (typical site layout)**



[Ord. NS-2463, 2023; Ord. NS-2423, 2021; Ord. NS-2303, 2018; Ord. NS-2271, 2016; Ord. NS-2016, 2006]

## 2.1.1100 Other Design Standards.



- A. Development must comply with BDC [3.5.600](#), On-Site Drainage.
- B. Development must comply with BDC [3.5.200](#), Outdoor Lighting Standards, and [3.5.400](#), Solar Standards.
- C. Garage and carports must be accessed from abutting alleys. See BDC [3.1.200\(E\)](#), Lot and Parcel Access, and BDC [3.1.400\(F\)](#), Access Management Requirements.
- D. A sink outside of a kitchen or wet bar may be added in compliance with the following:
1. In a garage or accessory structure if the space is not conditioned as defined in BDC Chapter [1.2](#), Definitions. A garage or accessory structure must not contain a dishwashing machine; a range hood, exhaust vent, or similar equipment; or a stove, range, or oven.
  2. In a laundry room. The laundry room may include utility hook-ups for gas or electric laundry appliances. A laundry room must not contain a dishwashing machine; a range hood, or similar equipment; or a stove, range, or oven. [Ord. NS-

2463, 2023; Ord. NS-2462, 2023; Ord. NS-2423, 2021; Ord. NS-2389, 2020; Ord. NS-2314, 2018]

**The Bend Development Code is current through Ordinance NS-2466, passed March 1, 2023.**

Disclaimer: The city recorder's office has the official version of the Bend Development Code. Users should contact the city recorder's office for ordinances passed subsequent to the ordinance cited above.

City Website: [www.bendoregon.gov](http://www.bendoregon.gov)

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