



FIRST AMERICAN TITLE

Property Research Report

SUBJECT PROPERTY

185 Starflower Way Merlin, OR 97532

350609DD000500

R340939

Josephine

OWNER

Alfonso & Cassie Banuelos

DATE PREPARED

3/17/2026



First American Title

cs.josephine.or@firstam.com

541.244.5523

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Ownership

Legal Owner(s): Alfonso & Cassie Banuelos

Site Address: 185 Starflower Way Merlin, OR 97532

Mailing Address: 185 Starflower Way Merlin, OR 97532

Parcel #: 350609DD000500

APN: R340939

County: Josephine

Property Characteristics

Bedrooms: 2

Year Built: 2000

Lot SqFt: 108,900

Total Bathrooms: 2.00

Building SqFt: 2,065

Lot Acres: 2.50

Full Bathrooms: 2

First Floor SqFt: 2,065

Roof Type: Composition Shingle

Half Bathrooms: 0.00

Basement SqFt: 0

Roof Shape:

Units: 0

Basement Type:

Porch Type:

Stories: 1.00

Building Style:

Fire Place: N

Garage: Attached Garage

Air Conditioning: Yes

Garage SqFt: 912

Heating Type: Heat Pump

Parking Spots: 7

Pool:

Property Information

Land Use: RESIDENTIAL

Zoning: RR2.5

Improvement Type: Single Family Residential

School District: Three Rivers Josephine County

Legal Description: PLEASANT MEADOW SUB, LOT 4, ACRES 2.50

Neighborhood:

Subdivision: Pleasant Meadow Sub

Assessor & Taxes

2025 Market Land: \$179,150

2024 Taxes: \$2,879.12

2025 Market Structure: \$429,610

% Improved: 67.68

2025 Market Total: \$608,760

Levy Code:

2025 Assessed Total: \$399,420

Millage Rate:

Sale History

Last Sale Date:

Doc #:

Last Sale Price: \$

Prior Sale Date:

Prior Doc #:

Prior Sale Price: \$

Mortgage

1st Mortgage Date:

Doc #:

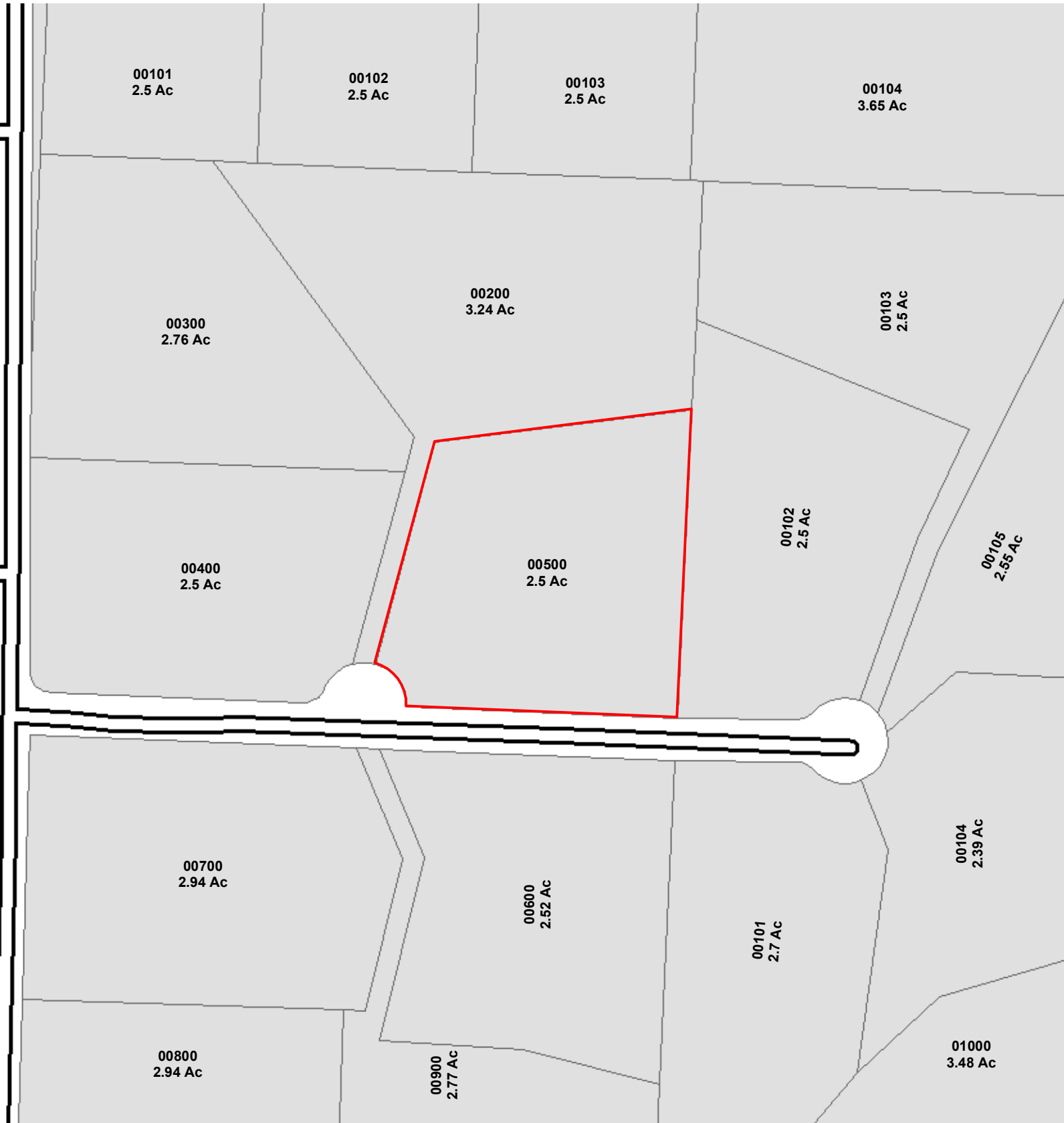
1st Mortgage Amt: \$

1st Mortgage Type:

1st Mortgage Lender:

2nd Mortgage Amt: \$

2nd Mortgage Type:



Taxlot



Subject



Taxlot



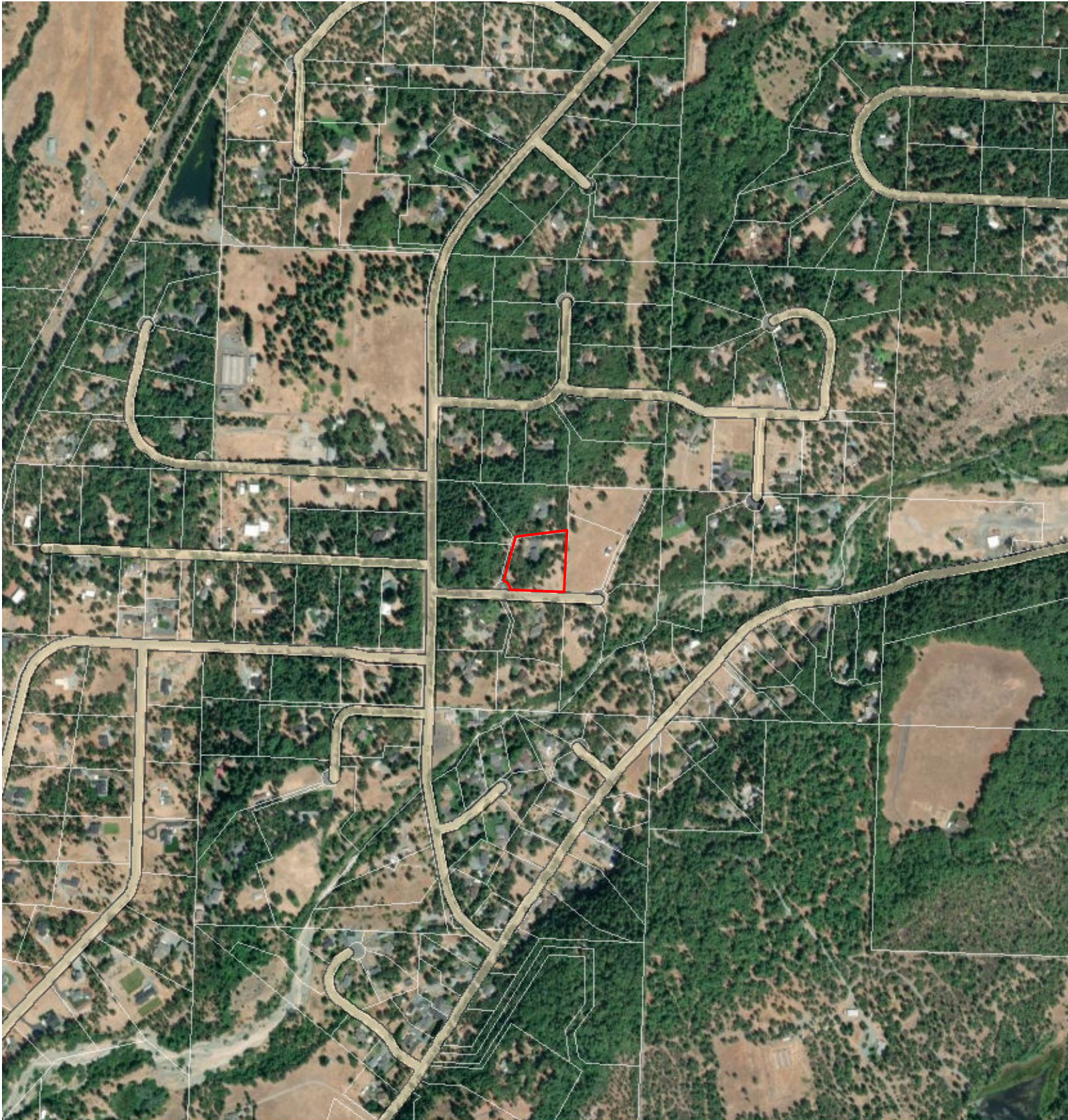
Aerial



Subject



Taxlot



Aerial



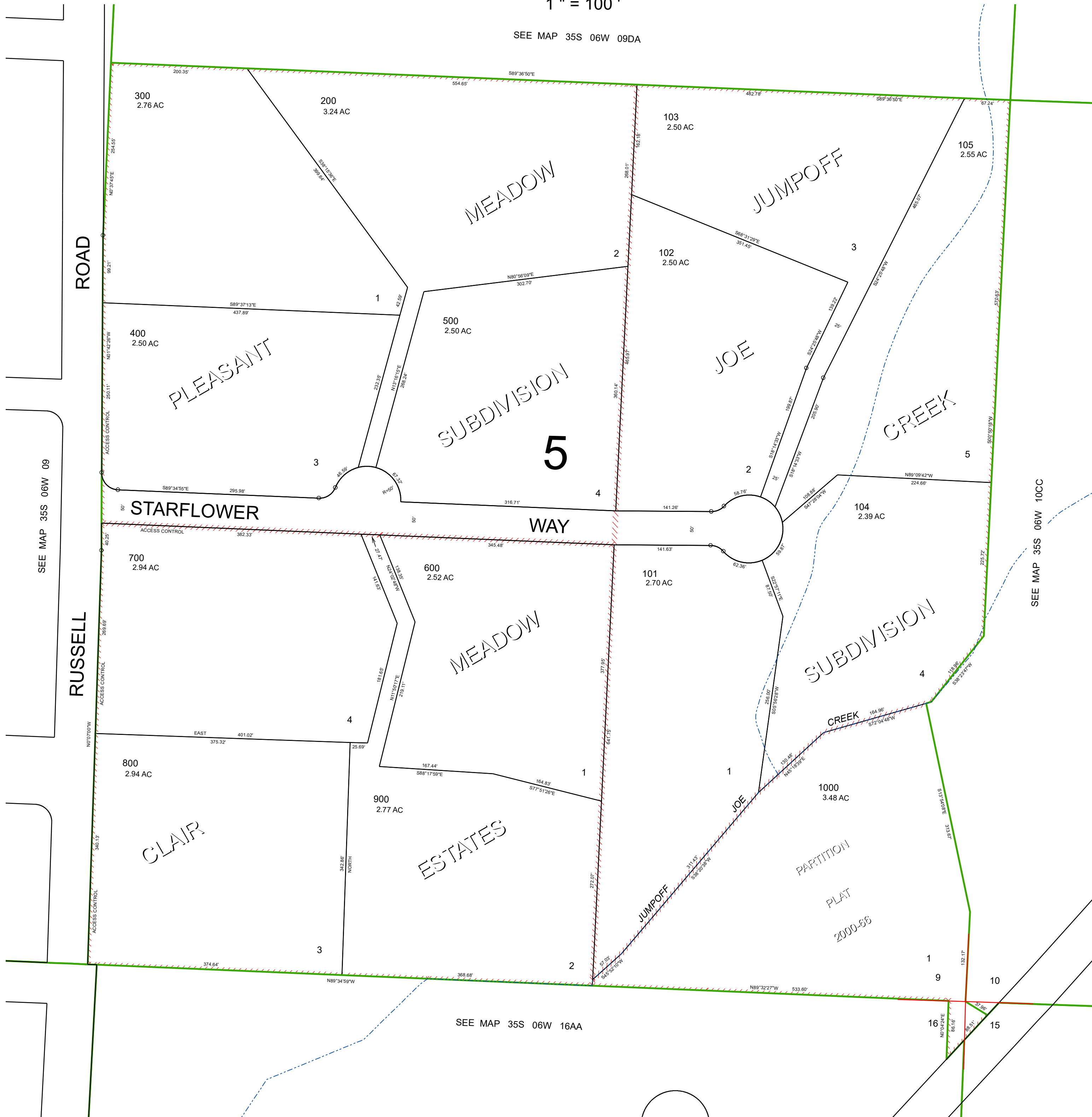
Subject



Taxlot

SEE MAP 35S 06W 09DA

CANCELLED:
1100
100





TICOR TITLE
26-47320 AH
35-6-9 1607



After Recording Return To:
Ticor Title
744 NE 7th Street
PO Box 1960
Grants Pass OR 97526-0167

Send Tax Statements To:
Alfonso J. Banelos
Cassie J. Banelos
185 Starflower Way
Merlin OR 97532

Title Order No. 26-47320
Escrow No. 26-47320
Tax Account No. R340939
35060900 1607

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WARRANTY DEED
(ORS 93.850)

Odis L. Fortner and Carolyn J. Fortner, as tenants by the entirety, Grantor, conveys and warrants to Alfonso J. Banelos and Cassie J. Banelos, as tenants by the entirety, Grantee, the following described real property free of encumbrances except as specifically set forth herein:

See Exhibit 'A' attached hereto and by reference made a part hereof.

THIS INSTRUMENT WILL NOT ALLOW USE OF THE PROPERTY DESCRIBED IN THIS INSTRUMENT IN VIOLATION OF APPLICABLE LAND USE LAWS AND REGULATIONS. BEFORE SIGNING OR ACCEPTING THIS INSTRUMENT, THE PERSON ACQUIRING FEE TITLE TO THE PROPERTY SHOULD CHECK WITH THE APPROPRIATE CITY OR COUNTY PLANNING DEPARTMENT TO VERIFY APPROVED USES AND TO DETERMINE ANY LIMITS ON LAWSUITS AGAINST FARMING OR FOREST PRACTICES AS DEFINED IN ORS 30.930.

The true consideration for this conveyance is \$419,000.00.

Dated this 1st day of November, 2004.
[Signature]
Odis L. Fortner

[Signature]
Carolyn J. Fortner

State of OR, County of Josephine)ss.

This instrument was acknowledged before me on Nov. 1, 2004
by Odis L. Fortner and Carolyn J. Fortner.

[Signature]
Notary Public

My commission expires: 12/5/2005



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EXHIBIT 'A'

Legal Description:

Lot 4, PLEASANT MEADOW SUBDIVISION, Josephine County, Oregon.

Subject to:

Easement as delineated or dedicated on the recorded plat,

For: public utilities

Affects: Southwesterly corner, 10 feet wide

Road Maintenance Agreement, including the terms and provisions thereof, as disclosed on the recorded plat for Pleasant Meadow Subdivision.

Covenants, conditions and restrictions, but omitting covenant or restriction based on race, color, religion, sex, handicap, familial status or national origin, unless and only to the extent that said covenant (A) is exempt under Chapter 42, Section 3607 of the United States code or (B) relates to handicap but does not discriminate against handicapped persons, imposed by instrument, including the terms and provisions thereof,

Recorded: September 30, 1999

Instrument No.: 99-21193

in Josephine County, Oregon.

This exception has been deleted.

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JOSEPHINE COUNTY PROPERTY ASSESSMENT & TAX DATA

Property	Owner	Property Address	2026 In Process Real Market Value
R340939	BANUELOS, ALFONSO J & BANUELOS, CASSIE J	185 STARFLOWER WAY, MERLIN, OR 97532	\$603,350

Property Page: Property Details ▼

2026 GENERAL INFORMATION

Property Status	A Active
Property Type	Residential
Legal Description	PLEASANT MEADOW SUB, LOT 4, ACRES 2.50
Alternate Account Number	-
Neighborhood	0500 Hugo
Map Number	35-06-09-DD-000500-00
Property Use	401-HBU Tract; Zone Res; Improved
Levy Code Area	05
Zoning	RR2.5

RELATED PROPERTIES

Linked Properties [P143920](#)

2026 OWNER INFORMATION

Owner Name	BANUELOS, ALFONSO J & BANUELOS, CASSIE J
Mailing Address	185 STARFLOWER WAY MERLIN, OR 97532

Improvement #1		Improvement Type			Beds	
☐ -		Residential			2	
ID	SEGMENT TYPE	SEGMENT CLASS	YEAR BUILT	AREA	DETAILS	
1	MAIN.AREA	CLASS 4	2000	2,065	⌘ Details	
	Eff Yr Built	2000	Adjustment %	-	Roof Styles	CSMED
	Baths	2BA	Heat/AC	HP	Fireplaces	-
	Flooring	-	Foundation	-	Int Finish	-
			Ext Finish	BEV		

Improvement #2		Improvement Type			Beds	
☐ -		Residential			0	
ID	SEGMENT TYPE	SEGMENT CLASS	YEAR BUILT	AREA	DETAILS	
1	GARAGE ATTACHED	CLASS 4	2000	912	⌘ Details	
	Eff Yr Built	2000	Adjustment %	-	Roof Styles	CSMED,GAB
	Baths	-	Heat/AC	-	Fireplaces	-
	Flooring	CC	Foundation	CCB	Int Finish	FIN
			Ext Finish	BEV		

Improvement #3		Improvement Type			Beds	
☐ -		Misc Imp			0	
ID	SEGMENT TYPE	SEGMENT CLASS	YEAR BUILT	AREA	DETAILS	
1	ROOF COVER COMP SHINGLE	-	2000	300	⌘ Details	
	Eff Yr Built	2000	Adjustment %	-	Roof Styles	-
	Baths	-	Heat/AC	-	Fireplaces	-
	Flooring	-	Foundation	-	Int Finish	-
			Ext Finish	-		
2	CONCRETE EXP AGG	-	2000	300	⌘ Details	
	Eff Yr Built	2000	Adjustment %	-	Roof Styles	-
	Baths	-	Heat/AC	-	Fireplaces	-
	Flooring	-	Foundation	-	Int Finish	-
			Ext Finish	-		
3	ROOF COVER COMP SHINGLE	-	2000	120	⌘ Details	
	Eff Yr Built	2000	Adjustment %	-	Roof Styles	-
	Baths	-	Heat/AC	-	Fireplaces	-
	Flooring	-	Foundation	-	Int Finish	-
			Ext Finish	-		
4	CONCRETE EXP AGG	-	2000	346	⌘ Details	
	Eff Yr Built	2000	Adjustment %	-	Roof Styles	-
	Baths	-	Heat/AC	-	Fireplaces	-
	Flooring	-	Foundation	-	Int Finish	-
			Ext Finish	-		
5	CONCRETE EXP AGG	-	2000	561	⌘ Details	
	Eff Yr Built	2000	Adjustment %	-	Roof Styles	-
	Baths	-	Heat/AC	-	Fireplaces	-
	Flooring	-	Foundation	-	Int Finish	-
			Ext Finish	-		

TOTAL TAXES DUE	
Current Year Due	\$991.52
Past Years Due	\$0.00
<hr/>	
Total Due	\$991.52

- If applicable, the described property is receiving special valuation based upon its use. Additional rollback taxes which may become due based on the provisions of the special valuation are not indicated in this listing.

TAX SUMMARY

Effective Date: [Details](#)

TAXYEAR	TOTAL BILLED	AD VALOREM	SPECIAL ASMT	PRINCIPAL	INTEREST	DATE PAID	TOTAL OWED
2025	\$2,974.56	\$2,896.56	<u>\$78.00</u>	\$2,974.56	\$0.00	-	\$991.52
2024	\$2,879.12	\$2,812.87	<u>\$66.25</u>	\$2,879.12	\$0.00	-	\$0.00
2023	\$2,424.99	\$2,358.74	<u>\$66.25</u>	\$2,424.99	\$0.00	-	\$0.00
2022	\$2,375.12	\$2,308.87	<u>\$66.25</u>	\$2,375.12	\$0.00	-	\$0.00
2021	\$2,295.10	\$2,228.85	<u>\$66.25</u>	\$2,295.10	\$0.00	-	\$0.00
2020	\$2,393.73	\$2,327.48	<u>\$66.25</u>	\$2,393.73	\$0.00	-	\$0.00
2019	\$2,297.92	\$2,231.67	<u>\$66.25</u>	\$2,297.92	\$0.00	-	\$0.00
2018	\$2,259.88	\$2,193.63	<u>\$66.25</u>	\$2,259.88	\$0.00	-	\$0.00
2017	\$2,259.52	\$2,193.27	<u>\$66.25</u>	\$2,259.52	\$0.00	-	\$0.00
2016	\$1,913.91	\$1,847.66	<u>\$66.25</u>	\$1,913.91	\$0.00	-	\$0.00
2015	\$1,847.46	\$1,781.21	<u>\$66.25</u>	\$1,847.46	\$0.00	-	\$0.00
2014	\$1,800.65	\$1,734.40	<u>\$66.25</u>	\$1,800.65	\$0.00	-	\$0.00
2013	\$1,731.00	\$0.00	\$0	\$1,731.00	\$0.00	-	\$0.00
2012	\$1,685.29	\$0.00	\$0	\$1,685.29	\$0.00	-	\$0.00
2011	\$1,627.28	\$0.00	\$0	\$1,627.28	\$0.00	-	\$0.00
2010	\$1,594.91	\$0.00	\$0	\$1,594.91	\$0.00	-	\$0.00
2009	\$1,550.18	\$0.00	\$0	\$1,550.18	\$0.00	-	\$0.00
2008	\$1,539.02	\$0.00	\$0	\$1,539.02	\$0.00	-	\$0.00
2007	\$1,468.41	\$0.00	\$0	\$1,468.41	\$0.00	-	\$0.00
2006	\$1,436.49	\$0.00	\$0	\$1,436.49	\$0.00	-	\$0.00
2005	\$1,406.01	\$0.00	\$0	\$1,406.01	\$0.00	-	\$0.00
2004	\$1,384.93	\$0.00	\$0	\$1,384.93	\$0.00	-	\$0.00
2003	\$1,366.33	\$0.00	\$0	\$1,366.33	\$0.00	-	\$0.00
2002	\$1,330.46	\$0.00	\$0	\$1,330.46	\$0.00	-	\$0.00
2001	\$1,193.74	\$0.00	\$0	\$1,193.74	\$0.00	-	\$0.00
2000	\$224.14	\$0.00	\$0	\$224.14	\$0.00	-	\$0.00

TAXYEAR	RECEIPT NUMBER	TRANSACTION DATE	PAYMENT AMOUNT
2025	JOCO-246202	2-12-2026	\$991.52
2025	JOCO-212220	11-4-2025	\$991.52
2024	JOCO-199304	5-14-2025	\$959.42
2024	JOCO-196155	2-13-2025	\$960.00
2024	JOCO-184236	11-15-2024	\$959.70
2023	JOCO-151797	5-14-2024	\$808.33
2023	JOCO-147871	2-12-2024	\$808.33
2023	JOCO-117903	11-8-2023	\$808.33
2022	JOCO-102710	5-18-2023	\$791.72
2022	JOCO-98174	2-9-2023	\$791.70
2022	JOCO-82941	11-14-2022	\$791.70
2021	JOCO-52530	5-19-2022	\$765.03
2021	JOCO-47842	2-8-2022	\$765.03
2021	JOCO-31834	11-14-2021	\$765.04
2020	1254294	5-20-2021	\$797.91
2020	1250572	2-19-2021	\$796.46
2020	1245103	11-30-2020	\$810.00
2019	1203154	5-8-2020	\$765.97
2019	1200673	2-28-2020	\$10.22
2019	1200133	2-20-2020	\$765.97
2019	1194827	11-21-2019	\$765.98
2018	1155798	5-22-2019	\$773.02
2018	1151591	2-26-2019	\$754.00
2018	1144320	11-26-2018	\$763.34
2017	1105968	5-24-2018	\$763.21
2017	1101645	2-22-2018	\$753.17
2017	1094895	11-29-2017	\$753.18
2016	1056859	5-15-2017	\$637.97
2016	1053124	2-16-2017	\$637.97
2016	1048100	12-1-2016	\$637.97
2015	1010112	5-18-2016	\$596.64
2015	1009723	5-16-2016	\$596.64
2015	1009723	5-16-2016	(\$596.64)
2015	1005406	2-16-2016	\$635.00
2015	992892	11-13-2015	\$615.82
2014	962275	5-18-2015	\$600.21
2014	957562	2-17-2015	\$600.22
2014	950374	11-20-2014	\$600.22
2013	912782	5-14-2014	\$577.00
2013	908537	2-19-2014	\$577.00
2013	885551	11-8-2013	\$577.00
2012	833908	11-6-2012	\$1,634.73
2011	814825	5-16-2012	\$542.42
2011	809864	2-15-2012	\$542.43
2011	804226	11-29-2011	\$542.43
2010	761741	5-17-2011	\$531.63
2010	756495	2-16-2011	\$531.64
2010	749181	11-19-2010	\$531.64

2009	710253	5-18-2010	\$516.72
2009	704939	2-18-2010	\$516.73
2009	697496	11-19-2009	\$516.73
2008	658672	5-21-2009	\$540.36
2008	652439	2-17-2009	\$511.02
2008	638708	11-17-2008	\$515.00
2007	605291	5-15-2008	\$478.94
2007	600203	2-15-2008	\$500.00
2007	589758	11-19-2007	\$489.47
2006	554042	5-15-2007	\$478.83
2006	549460	2-16-2007	\$478.83
2006	531148	11-15-2006	\$478.83
2005	461663	11-1-2005	\$1,363.83
2004	423386	11-10-2004	\$1,343.38
2003	356587	10-27-2003	\$1,325.34
2002	307470	11-25-2002	(\$1,304.66)
2002	338677	11-25-2002	\$1,290.55
2002	338677	11-25-2002	\$14.11
2002	307470	10-25-2002	\$1,304.66
2001	270919	11-14-2001	\$1,157.93
2000	212196	11-8-2000	\$217.42