

# SADDLE HILL DIVISION NO. 1 LOCATED IN THE N 1/2 OF SECTION 14, T4N R38E, B.M. JEFFERSON COUNTY, IDAHO

### REFERENCE INSTRUMENT NOS

- Record of Survey Instrument No. 453464 - Record of Survey by Kevin L. Thompson
- 448337 - Record of Survey by Kevin L. Thompson
- 438444 - Record of Survey by Kevin L. Thompson
- 438445 - Record of Survey by Kevin L. Thompson
- 438446 - Record of Survey by Kevin L. Thompson
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- 438470 - Record of Survey by Kevin L. Thompson
- 438471 - Record of Survey by Kevin L. Thompson
- 438472 - Record of Survey by Kevin L. Thompson
- 438473 - Record of Survey by Kevin L. Thompson
- 438474 - Record of Survey by Kevin L. Thompson
- 438475 - Record of Survey by Kevin L. Thompson
- 438476 - Record of Survey by Kevin L. Thompson
- 438477 - Record of Survey by Kevin L. Thompson
- 438478 - Record of Survey by Kevin L. Thompson
- 438479 - Record of Survey by Kevin L. Thompson
- 438480 - Record of Survey by Kevin L. Thompson

### SURVEYOR'S NARRATIVE

The boundary was established by a previous survey done for Mark O'Brien by Kevin L. Thompson, P.L.S., on 07/14/2011. The boundary was established by a previous survey done for Mark O'Brien by Kevin L. Thompson, P.L.S., on 07/14/2011. The boundary was established by a previous survey done for Mark O'Brien by Kevin L. Thompson, P.L.S., on 07/14/2011. The boundary was established by a previous survey done for Mark O'Brien by Kevin L. Thompson, P.L.S., on 07/14/2011.

### NOTES

- Note 1: This property is Zoned R1 and the intended use of this subdivision is for Residential Single Family Dwelling Units.
- Note 2: All lot shall conform to the subdivision and will not exceed directly over 3000 Sqr. Ft.
- Note 3: Lot 1, Block 3 will be owned & maintained by the Home Owners Association for the purpose of a community park.
- Note 4: The community park is located on a five foot (5') wide easement to be placed on the northeast lot.
- Note 5: All lots shall conform to the subdivision and will not exceed directly over 3000 Sqr. Ft.
- Note 6: No individual lot shall have over 3/8 acre first individual wet.

### PUBLIC UTILITY EASEMENT NOTE

Utilities shall have the right to install, maintain, and operate their equipment above and below ground and all other related facilities within the Public Utility Easements identified on this plat map as may be necessary or desirable to provide utility services within and without the lot identified herein, including the right of access to such facilities and the right to require removal of any obstructions including structures, trees and vegetation that may be placed within the PUE. This utility may require the lot owner to remove all structures within the PUE of the lot owner's property. All lot owners may require permanent easements to be placed within the PUE for any other structures which encroach with the lot owner's property. All lot owners must obtain the approval of the utility with facilities in the PUE.

### OWNER'S CERTIFICATE

KNOW ALL MEN BY THESE PRESENTS: That we the undersigned, we the owners of the land included within the boundary description shown herein and have caused this map to be plotted into Blocks, Lots, and Streets to be hereinafter known as SADDLE HILL, Division No. 1, Jefferson County, Idaho, and we do hereby declare to the public in general and high officials of Idaho as shown herein. The boundaries shown hereon are true and correct as the same were obtained from the original survey and as the same were approved by the State Engineer and the State Board of Land Commissioners. We do hereby certify that the lots shown on this plat will be owned by the Saddle Hill Association and the land included within this plat will be subject to compliance with Jefferson County policy, Water and/or Canal Company regulations and in accordance with Idaho Code 31-3805 (if required).

In Witness Whereof the Undersigned Have Duly Signed this Certificate this 15th Day of March 2022.  
Kevin L. Thompson, P.L.S.

*[Signature]*  
Kevin L. Thompson  
P.L.S. License No. 10563

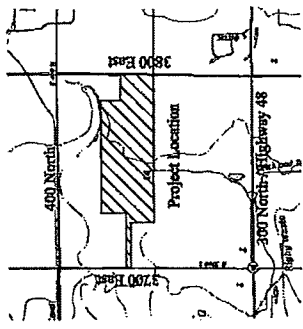
### ACKNOWLEDGMENT

County of Idaho )  
State of Idaho )

On this 15th Day of March, in the Year of 2022, before me the undersigned a Notary Public in and for said State, Personally Appeared P. L. S. Thompson, P.L.S., who being identified to me by credible evidence to be the true and lawful owner of the land herein described and the person who authorized said company names to be attached thereto, Declaration and acknowledged to me that he executed the same.

*[Signature]*  
Notary Public: Kevin L. Thompson  
My Commission Expires on: October 28th, 2026

1  
2  
3



VICINITY MAP  
(No Scale)

- ### ACREAGE
- Total Subdivisions 118.36 Acres
  - 97 Subdivisions Lots 1047.27 Acres
  - Undivided Public Road 1.561 Acres
  - Linear Footage of Road 10,071.7'

### BOUNDARY DESCRIPTION

Part of the NE1/4 of Section 14, Township 4 North, Range 38 East, of the Boise Meridian, Jefferson County, Idaho, more particularly commencing at the Northwest Corner of said Section 14, and said point being monumented with a Railroad Spike, as recorded as Instrument No. 306870 in the Jefferson County Clerk's Office;

Thence S07°52'49"W along the East line of said Section 14 a Distance of 6712.11 feet;

Thence S07°52'49"W along said East line a Distance of 6712.11 feet;

Thence S00°47'24"W a Distance of 221.50 feet to the South line of the North 1/2 of the Northeast Quarter (NE1/4) of said Section 14;

Thence S89°47'27"W a Distance of 2347.67 feet to the Corner of said Section 14;

Thence S09°12'30"W a Distance of 61.04 feet;

Thence S09°12'30"W a Distance of 61.04 feet;

Thence S07°52'49"W a Distance of 14.14 feet;

Thence S25°42'07"W a Distance of 596.65 feet;

Thence N89°29'59"W a Distance of 194.02 feet;

Thence S09°29'59"W a Distance of 138.27 feet to the West line of said Section 14;

Thence S89°29'59"W a Distance of 1387.49 feet;

Thence S07°52'49"W a Distance of 297.00 feet;

Thence N01°45'49"W a Distance of 6715.03 feet;

Thence N07°39'27"W a Distance of 192.19 feet to the North line of the South 1/2 of the Southwest Quarter (SW 1/4) of the Northwest Quarter (NW 1/4) of said Section 14;

Thence N07°39'27"W a Distance of 192.19 feet to the North line of the South 1/2 of the Southwest Quarter (SW 1/4) of the Northwest Quarter (NW 1/4) of said Section 14;

Thence N09°46'03"W along the North line of the South 1/2 of the Northwest Quarter (NE1/4) of said Section 14 a Distance of 227.19 feet;

Thence S09°19'27"W a Distance of 2251.51 (Round) - 2251.50 feet;

Thence N09°19'27"W a Distance of 2251.51 feet;

Thence S45°22'24"W a Distance of 48.34 feet;

Thence S22°45'07"W a Distance of 67.26 feet;

Thence S07°24'15"W a Distance of 728.93 feet;

Thence S67°19'47"W a Distance of 7.33 feet;

Thence N09°46'03"W a Distance of 244.02 feet to the True Point of Beginning, Comprising 118.36 Acres More or Less.

### SURVEYOR'S CERTIFICATE

I, Kevin L. Thompson, a Licensed Professional Land Surveyor in the State of Idaho, do hereby certify that the survey of this subdivision, designated as SADDLE HILL, Division No. 1, Jefferson County, Idaho, was made by me or under my direction, and that said subdivision is truly and correctly Subdivided as Required by Law and is in Accordance with the Accompanying Plat.

*[Signature]*  
Kevin L. Thompson  
P.L.S. License No. 10563

### HEALTH DEPARTMENT CERTIFICATE

I hereby certify that the sanitary conditions required by Idaho Code Title 24, Chapter 13, have been satisfied. Sanitary conditions may be re-inspected in accordance with Idaho Code Title 24, Chapter 13, Section 20-1126, by the issuance of a Certificate of Disapproval.

*[Signature]*  
Vince McHenry  
Health Department, BSE

3-17-22  
Date

**SURVEYOR**  
Kevin L. Thompson, P.L.S.  
215 Fernwood Way  
Ridge, ID 83442  
(208) 464-4771

**LAND DEVELOPER**  
J & L Holdings LLC  
215 Fernwood Way  
Ridge, ID 83442

### FLOOD PLAIN NOTE

This subdivision falls outside the 500 year Flood Plain as per FRM Community Map No. 16031C1650C. Dated September 26, 2008.

### EXAMINING SURVEYOR'S CERTIFICATE

I hereby certify that I have examined this subdivision plat and find it to be substantially correct and acceptable as required in Section 20-1126 of the Idaho State Code.

*[Signature]*  
Kevin L. Thompson, P.L.S.  
License No. 10563  
Date: 3-18-22

### TREASURER'S AND ASSESSOR'S CERTIFICATE

We, the undersigned county treasurer and county assessor in and for the county of Jefferson, State of Idaho, having reviewed this plat as per the requirements of Idaho Code 50-1308, do hereby certify that all county taxes on the property shown and described on this plat as being subdivided, are correct.

*[Signature]*  
Kevin L. Thompson  
Recorder  
Date: 3-18-22

### COUNTY APPROVAL

The foregoing final plat was duly accepted and approved by Jefferson County, Idaho, by resolution adopted this 15th Day of April, 2022.

*[Signature]*  
Kevin L. Thompson  
County Commissioner

### RECORDER'S CERTIFICATE

I hereby certify that the foregoing plat of SADDLE HILL, Division No. 1, Jefferson County, Idaho, was filed for recording in the office of the recorder for Jefferson County on this 18th Day of April, 2022, at 3:55.

Instrument Number: 5292817  
Jefferson County Recorder: Kevin L. Thompson

### RECORDERS INSTRUMENT

Instrument # 472817  
County Jefferson, Idaho  
Recorded as 17 Jefferson Land Subdivisions as per the accompanying Deed.  
Date Filed  
Book & Page

### SADDLE HILL

### DIVISION NO. 1 - FINAL PLAT

LOCATED IN THE N 1/2 OF SECTION 14, TOWNSHIP 4 NORTH, RANGE 38 EAST, JEFFERSON COUNTY, IDAHO

Job Name: J & L Holdings, LLC  
Job Number: 2020-012  
Cada File: 4-38-16-pro  
Drawn By: J.W.T.  
Checked By: K.L.J.  
Date: 3/17/2022

**ATHOMPSON**  
LAND SURVEYING, INC.  
215 Fernwood Way, Ridge, Idaho 83442

Revision No. Scale: N/A  
Sheet 1 of 4



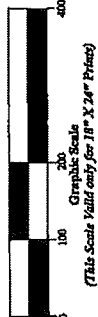
# SADDLE HILL DIVISION NO. 1

LOCATED IN THE N 1/2 OF SECTION 14,  
T4N 36R, E1M,  
JEFFERSON COUNTY, IDAHO

UNPLATTED

### LEGEND

- ① 5/4 5/4 Iron Rod with Cap Marked P.L.S. 10963
- ② 1/2" Iron Rod with Cap Marked P.L.S. 10963
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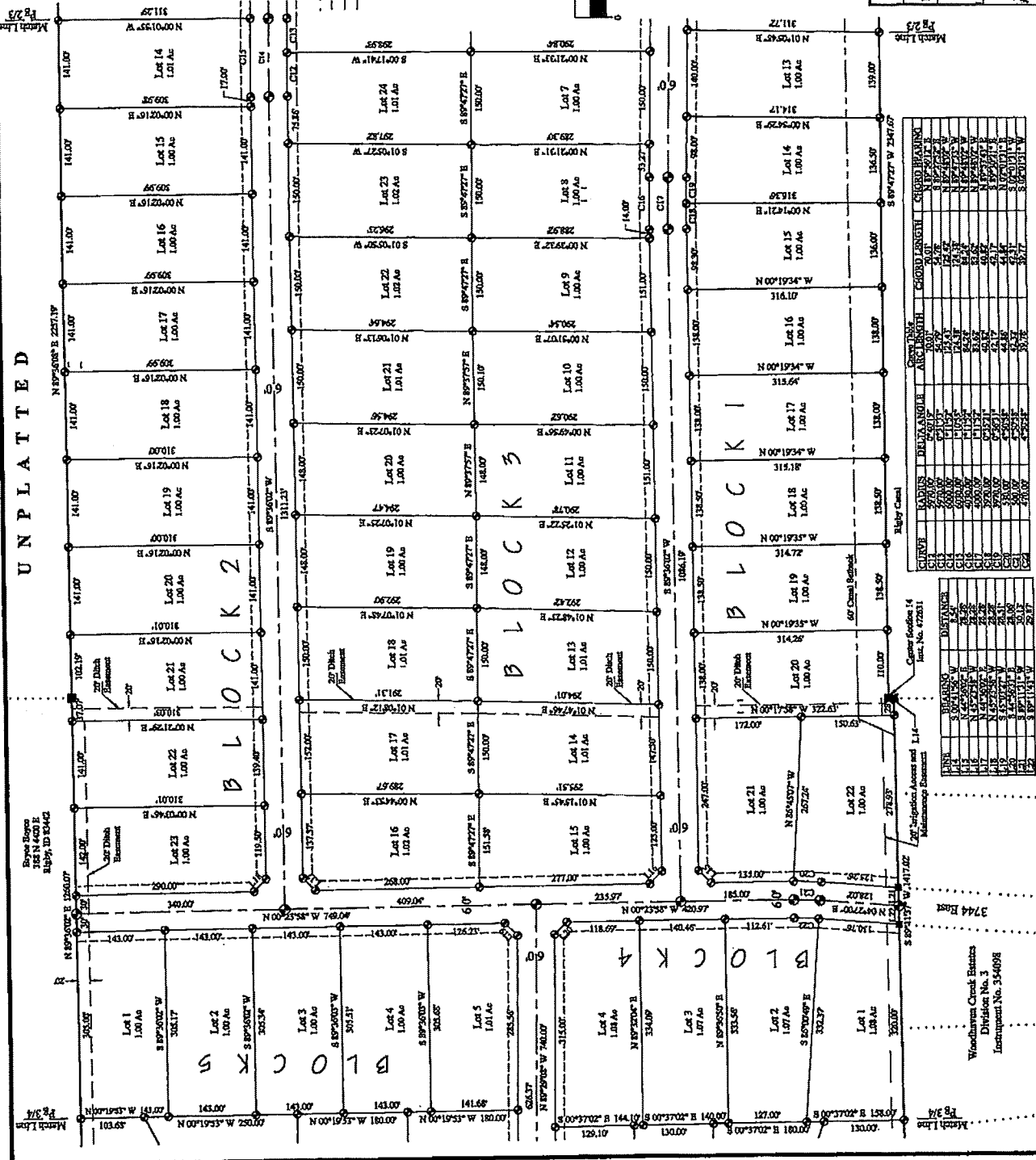
Instrument # 472817  
 Surveyor: J & L Holdings, LLC  
 Job Number: 2020-012  
 Date: 5/10/2021  
 Scale: 1" = 100'  
 Made in Utah

**SADDLE HILL**  
 DIVISION NO. 1 - FINAL PLAT  
 LOCATED IN THE N 1/2 OF SECTION 14, TOWNSHIP 4  
 NORTH, RANGE 36 EAST, JEFFERSON COUNTY, IDAHO

Job Name: J & L Holdings, LLC  
 Job Number: 2020-012  
 Co-Op File: 4-36-14-jeo

**ATHOMPSON**  
 LAND SURVEYING, INC.  
 616 Fremont St., Suite 800, Idaho Falls, ID 83401

Scale: 1" = 100'  
 Sheet 3 of 4



CURVE	BEARING	DELTA ANGLE	ARC LENGTH	CHORD LENGTH	CHORD BEARING
C1	N 0°00'00" E	0°00'00"	0.00	0.00	N 0°00'00" E
C2	N 0°00'00" E	0°00'00"	0.00	0.00	N 0°00'00" E
C3	N 0°00'00" E	0°00'00"	0.00	0.00	N 0°00'00" E
C4	N 0°00'00" E	0°00'00"	0.00	0.00	N 0°00'00" E
C5	N 0°00'00" E	0°00'00"	0.00	0.00	N 0°00'00" E
C6	N 0°00'00" E	0°00'00"	0.00	0.00	N 0°00'00" E
C7	N 0°00'00" E	0°00'00"	0.00	0.00	N 0°00'00" E
C8	N 0°00'00" E	0°00'00"	0.00	0.00	N 0°00'00" E
C9	N 0°00'00" E	0°00'00"	0.00	0.00	N 0°00'00" E
C10	N 0°00'00" E	0°00'00"	0.00	0.00	N 0°00'00" E
C11	N 0°00'00" E	0°00'00"	0.00	0.00	N 0°00'00" E
C12	N 0°00'00" E	0°00'00"	0.00	0.00	N 0°00'00" E
C13	N 0°00'00" E	0°00'00"	0.00	0.00	N 0°00'00" E
C14	N 0°00'00" E	0°00'00"	0.00	0.00	N 0°00'00" E
C15	N 0°00'00" E	0°00'00"	0.00	0.00	N 0°00'00" E
C16	N 0°00'00" E	0°00'00"	0.00	0.00	N 0°00'00" E
C17	N 0°00'00" E	0°00'00"	0.00	0.00	N 0°00'00" E
C18	N 0°00'00" E	0°00'00"	0.00	0.00	N 0°00'00" E
C19	N 0°00'00" E	0°00'00"	0.00	0.00	N 0°00'00" E
C20	N 0°00'00" E	0°00'00"	0.00	0.00	N 0°00'00" E
C21	N 0°00'00" E	0°00'00"	0.00	0.00	N 0°00'00" E
C22	N 0°00'00" E	0°00'00"	0.00	0.00	N 0°00'00" E
C23	N 0°00'00" E	0°00'00"	0.00	0.00	N 0°00'00" E
C24	N 0°00'00" E	0°00'00"	0.00	0.00	N 0°00'00" E

LINE	BEARING	LENGTH	BEARING	LENGTH
L1	N 0°00'00" E	0.00	N 0°00'00" E	0.00
L2	N 0°00'00" E	0.00	N 0°00'00" E	0.00
L3	N 0°00'00" E	0.00	N 0°00'00" E	0.00
L4	N 0°00'00" E	0.00	N 0°00'00" E	0.00
L5	N 0°00'00" E	0.00	N 0°00'00" E	0.00
L6	N 0°00'00" E	0.00	N 0°00'00" E	0.00
L7	N 0°00'00" E	0.00	N 0°00'00" E	0.00
L8	N 0°00'00" E	0.00	N 0°00'00" E	0.00
L9	N 0°00'00" E	0.00	N 0°00'00" E	0.00
L10	N 0°00'00" E	0.00	N 0°00'00" E	0.00
L11	N 0°00'00" E	0.00	N 0°00'00" E	0.00
L12	N 0°00'00" E	0.00	N 0°00'00" E	0.00
L13	N 0°00'00" E	0.00	N 0°00'00" E	0.00
L14	N 0°00'00" E	0.00	N 0°00'00" E	0.00
L15	N 0°00'00" E	0.00	N 0°00'00" E	0.00
L16	N 0°00'00" E	0.00	N 0°00'00" E	0.00
L17	N 0°00'00" E	0.00	N 0°00'00" E	0.00
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L19	N 0°00'00" E	0.00	N 0°00'00" E	0.00
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L21	N 0°00'00" E	0.00	N 0°00'00" E	0.00
L22	N 0°00'00" E	0.00	N 0°00'00" E	0.00
L23	N 0°00'00" E	0.00	N 0°00'00" E	0.00
L24	N 0°00'00" E	0.00	N 0°00'00" E	0.00

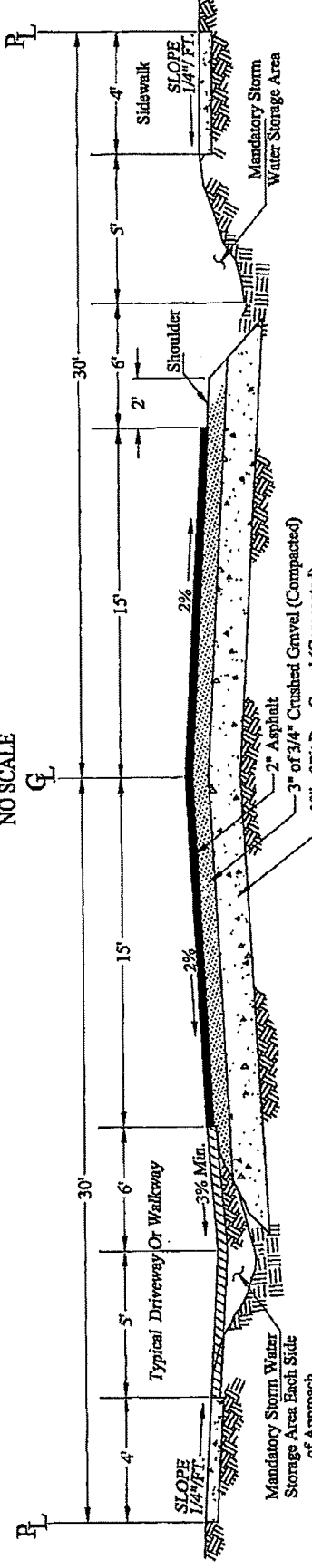
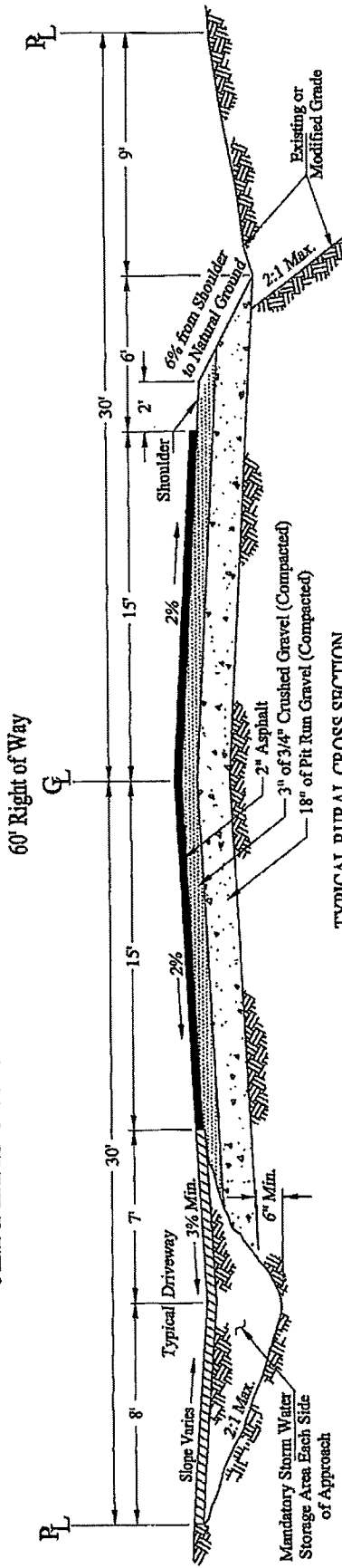
Woodhaven Creek Estates  
 Division No. 3  
 Instrument No. 354098



# JEFFERSON COUNTY TYPICAL STREET CROSS SECTIONS

EXHIBIT B

Revised: June 24, 2009



- Road Specifications for Subdivision Roads**  
Notification shall be given to the Road & Bridge Department when each phase of work is to begin.
- All roads shall have a 60' Right-of-Way.
  - All roads shall have a 3" paved travel width, with 2" shoulders for a total of 5.5' top, or a 5' deep 12" wide cement curb for a total of 5.5' top.
  - Existing ground to be excavated to a depth of 12".
  - Road to consist of at least 18" of compacted pit run gravel, 3" of compacted stone spec 2 1/4" crushed gravel and 2" of compacted hot asphalt. Gravel conditions to be on file with Road & Bridge before the 3 1/4" is delivered.
  - The pit run and 3 1/4" shall be compacted to at least 95%. Compaction tests will be done every 100'. A copy of the compaction test will be required to be on file with the Jefferson County Road and Bridge Department before the road will be accepted by the County.
  - The hot asphalt shall be compacted to between 92% and 98%. A copy of the compaction tests will need to be submitted to the Road & Bridge Department before the road will be accepted.
- County Bridge Requirements**  
*Before Building Bridge You Need Approval From The Canal Company*
- Design:** To meet at least an E20 Design Load.
- Bridge Walk:** Face of curb to face of curb to be 6' wider than road top.
- Footing for Street Light:** To be set 3' below stream bed.
- Wing Wall:** To be set at 30' from centerline of channel. Tapered to match fill. To be at least 8' from bridge to end of wing wall. Curb To be at least 12" high by 12" wide.
- 404 permits - May need permission to disturb Canal Bank.
- Center line to edge of fill shall be a 2% slope. Slope from road top to existing grade shall be 6:1.
  - All cut-slopes shall have 120' right-of-way and a 100' diameter paved surface with 2' shoulders.
  - All approaches and intersections shall intersect the existing road at or about the same grade and on or about a 90 degree angle with minimum 20' radius.
  - Cuts, centerline, and shoulder shall be marked and staked to a licensed firm, before the road will be accepted by the County.
  - If there is to be a bridge involved in the subdivision the specifications for the bridge can be picked up at the Road & Bridge office at 250 N. 4000 E. No approval shall be allowed on the bridge deck. All plans and construction shall be signed by a Licensed Engineer that they meet the Bridge specifications.
  - All designs shall be the responsibility of the developer and must be in place before acceptance by the County (for design, field, inspections). The developer shall contact the Road & Bridge Department for the specific figures for their subdivision.
  - Jefferson County requires a one (1) year Warranty from the developer after the road has been accepted.
  - It is the responsibility of the Developer to request an acceptance letter of the road from Jefferson County maintenance system at the Road & Bridge office at 250 N. 4000 E.



