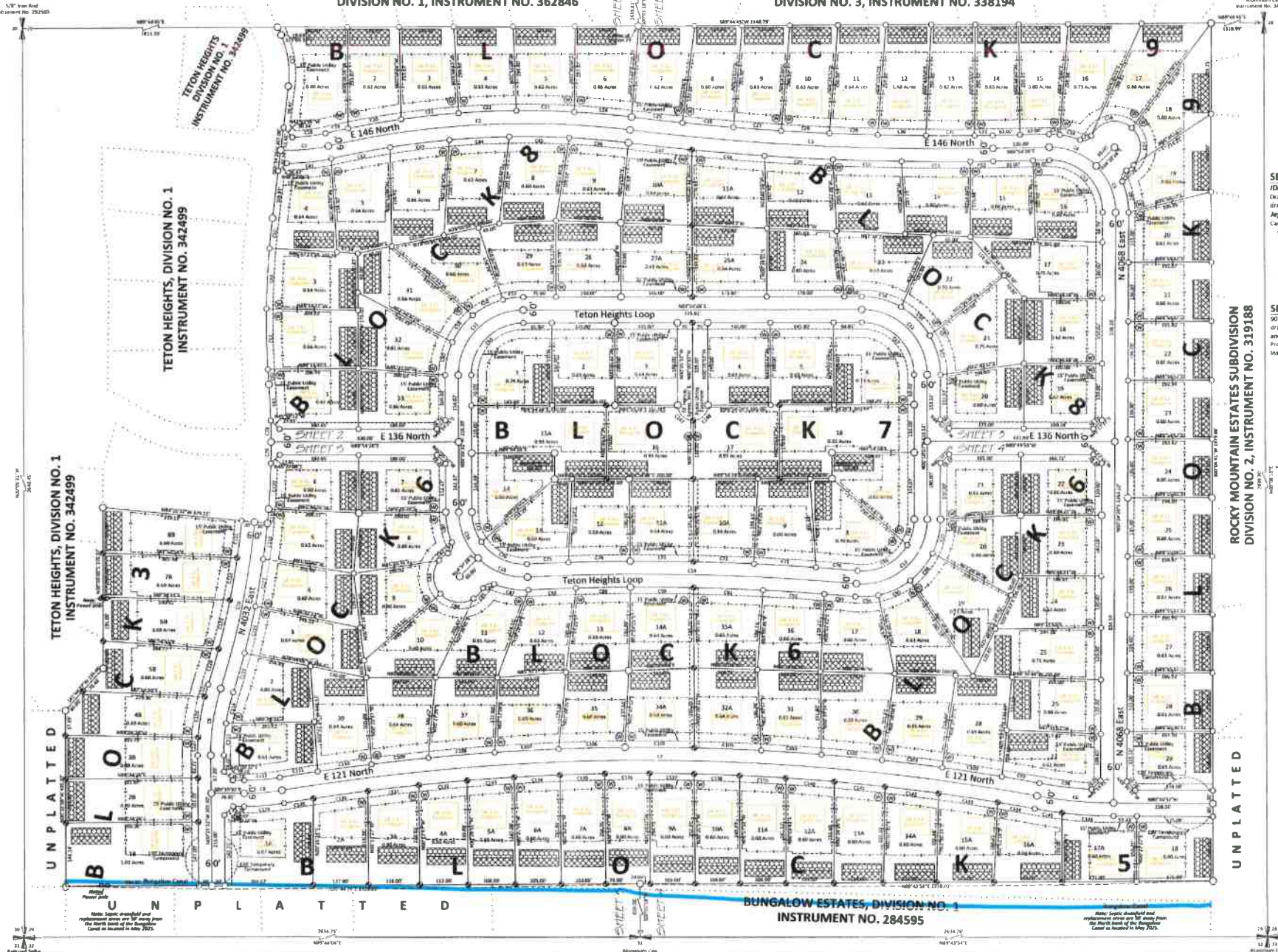


CREEKSIDE MANOR SUBDIVISION  
DIVISION NO. 1, INSTRUMENT NO. 362846

ROCKY MOUNTAIN ESTATES SUBDIVISION  
DIVISION NO. 3, INSTRUMENT NO. 338194

TETON HEIGHTS  
DIVISION NO. 6  
WELL & SEPTIC  
IMPROVEMENT PLANS



**SETBACK NOTES**  
IDAFA 58.01.03.008.d  
Drainfield Setback - Minimum separation distance of 20 feet is required between a drainfield and a dwelling with a basement  
Jefferson County Zoning Ordinance Chapter 112-263  
Local Setback - 60 feet measured from the high-water mark  
(5) For legal nonconforming lots or parcels the following setback exceptions may be applied provided snow storage and storm water are accommodated on the subject site:  
a. The minimum property line setback may be reduced to five (5) feet for lots/parcels of less than one (1) acre.  
(8) For legal nonconforming lots or parcels less than one (1) acre, the minimum street setback may be reduced to sixty-five (65) feet measured from the centerline of the road.

**SEPTIC SYSTEM NOTES**  
30" x 36" Drainfield Size as shown is for a 3 bedroom home standard rock and stone drainfield. Alternative drainfields may be allowed but must fit within drainfield size and location as shown. It will be the responsibility of the lot owner to hire a Professional Land Surveyor to mark the Drainfield area prior to Septic System installation and inspections.

- LEGEND**
- 3/4" x 17" Iron Rod with plastic cap marked "R.L.T. PLS 10563"
  - 5/8" Iron Rod with cap marked "R.L.T. PLS 10563"
  - 1/2" Iron Rod with cap marked "R.L.T. PLS 10563"
  - Calculated position (no monument found or set)
  - 15' Public Utility Easement or as Noted
  - Neighboring Property Lines
  - Domestic Well Location
  - 100' Domestic Well Separation
  - Building Setback Line Setback Note
  - 90" x 36" Standard Rock and Pipe Drainfield and Restoration Drainfield Area (If alternative system is to be used it must fit within Standard Rock and Pipe Footprint)
  - 90" x 36" Standard Rock and Pipe Drainfield and Restoration Drainfield Area



**SURVEYOR'S CERTIFICATE**  
I, Kevin L. Thompson, a Licensed Professional Land Surveyor in the State of Idaho, do hereby Certify that the survey of this subdivision, requested in Teton Heights, Division No. 6, Jefferson County, Idaho, was made by me or under my direction, and that said subdivision is True and Correctly stated as required by Law and in Accordance with the Accompanying PLS.  
Kevin L. Thompson, P.L.S. License No. 10563 Date

RECORDER'S INSTRUMENT

Instrument # 492361  
BOOK 2005 PAGE 10  
FILED IN TETON HEIGHTS, IDAHO  
COLEEN C. POOLE  
CLERK



TETON HEIGHTS, DIVISION NO. 6  
WELL AND SEPTIC IMPROVEMENT PLANS

LOCATED IN THE S 1/2 OF SECTION 26,  
TOWNSHIP 4 NORTH, RANGE 39 EAST OF THE BOISE MERIDIAN,  
JEFFERSON COUNTY, IDAHO

Job Name: Jared Ellis  
Job Number: 2005-036  
CoGo File: Rhodhouse 2001-018.pro

Drawn By: E.S.T.  
Checked By: E.S.T.  
Date: 6/24/2025  
Revision No.  
Scale: 1" = 300'

**THOMPSON**  
LAND SURVEYING, INC.  
215 Parramatta Way, Hury, Idaho 83442

Sheet 1 of 1

UNPLATTED

UNPLATTED

UNPLATTED

BUNGALOW ESTATES, DIVISION NO. 1  
INSTRUMENT NO. 284595

Notes: Septic, drainfield and restoration areas are 30' away from the North bank of the Bungalow Canal as located in the PLS.

Notes: Septic, drainfield and restoration areas are 30' away from the North bank of the Bungalow Canal as located in the PLS.

# TETON HEIGHTS, DIVISION NO. 6

## JEFFERSON COUNTY, IDAHO

Being a Replat of all the lots within Teton Heights Division's 2 - 5.  
Located in the S 1/2 of Section 29, T4N R39E, B.M.



This document  
provided courtesy  
of TitleOne

**SURVEYOR**  
Kevin L. Thompson, P.L.S.  
45 N. 470 W.  
Rigby, ID 83442  
(208) 745 8771

**LAND OWNER**  
Rigby 106, LLC  
45 N. 470 W.  
American Fork, UT. 84003

**DESCRIPTION**  
Teton Heights Division No. 2, recorded as Instrument No. 395262, all of the lots within Teton Heights Division No. 2, recorded as Instrument No. 395263, all of the lots within Teton Heights Division No. 4, recorded as Instrument No. 395264, and all of the lots within Teton Heights Division No. 5, recorded as Instrument No. 395265

**SEPTIC SYSTEM NOTE**  
It will be the responsibility of the lot owner to hire a Professional Land Surveyor to mark the Drainfield area as per the Teton Heights, Division No. 6, Well and Septic Improvement Plans recorded as Instrument No. 492361 prior to Septic System Installation and Inspections.

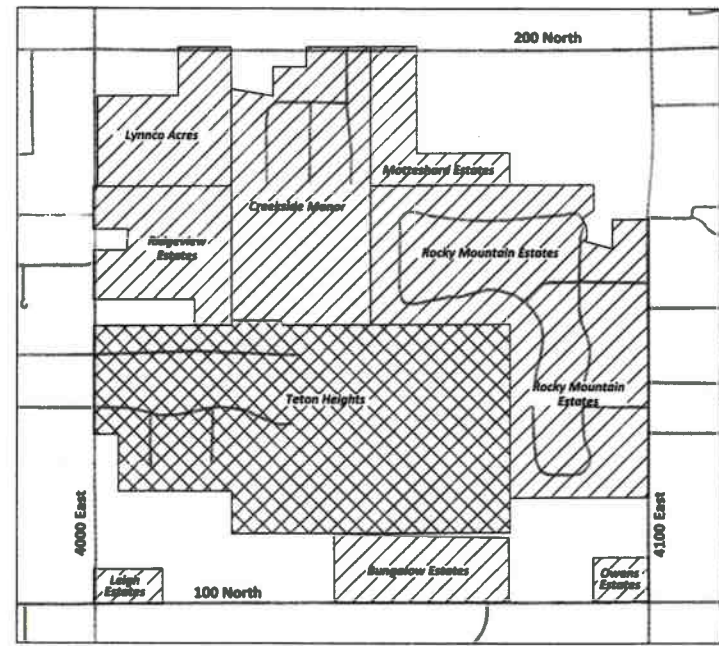
**IRRIGATION PLAN - WATER RIGHTS STATEMENT**  
Idaho Code 42-111 limits the use of domestic wells for irrigation (Lawns, Gardens, ETC.) to 1/2 acre, provided the total use is not more than 13,000 gallons per day.

**NOTES:**  
NOTE 1: This Subdivision falls outside the 500 year Flood Plain as per FIRM Map No. 16051C1650C. Dated September 26, 2008.  
NOTE 2: This property is Zoned R1 and the intended use of this Subdivision is for Residential Single Family Dwelling Units.  
NOTE 3: All lots will be served by Individual Septic Systems.  
NOTE 4: All lots will be served by individual Wells.  
NOTE 5: See Record of Survey Instrument No. 322585 for information relating to how the Basis of Bearing and the Boundary of the Subdivision was determined.  
NOTE 6: Homes with larger than 6 Bedrooms are allowed in this Subdivision.  
NOTE 7: Landscape Improvements to landscape shall be a minimum of twenty five (25) feet beyond the Development (house).  
NOTE 8: Temporary Turnaround Easements within the lots will revert back to the lot owners when the county streets are extended.  
NOTE 9: Before an Occupancy Permit is issued a four foot wide sidewalk will be placed on the respective lot.

**NARRATIVE**  
This Plat was done at the request of Kipp Archibald representing Rigby 106, LLC for the purpose of replating Teton Heights Division's No. 2 - 5 to change the Owners Certificate and the Health Department Certificate in order to allow for Individual Domestic Wells and Individual Septic Systems, and to create four single family residential lots out of Lot 15, Block 7 of Teton Heights, Division No. 2, Recorded as Instrument No. 395262.

**SURVEYOR'S CERTIFICATE**  
I, Kevin L. Thompson, a Licensed Professional Land Surveyor in the State of Idaho, do Hereby Certify that the survey of this subdivision, designated as Teton Heights, Division No. 6, Jefferson County, Idaho, was made by me or under my direction, and that said subdivision is Truly and Correctly Staked as Required by Law and in Accordance with the Accompanying Plat.

PROFESSIONAL LAND SURVEYOR  
LICENSED  
10563  
STATE OF IDAHO  
KEVIN L. THOMPSON  
P.L.S. License No. 10563  
Date 6-26-2025



VICINITY MAP  
(No Scale)

**PUBLIC UTILITY EASEMENT NOTE**  
Utilities shall have the right to install, maintain, and operate their equipment above and below ground and all other related facilities within the Public Utility Easements identified on this plat map as may be necessary or desirable in providing utility services within and without the lots identified herein, including the right of access to such facilities and the right to require removal of any obstructions including structures, trees and vegetation that may be placed within the PUE. The utility may require the lot owner to remove all structures within the PUE at the lot owner's expense. At no time may any permanent structures be placed within the PUE or any other obstruction which interferes with the use of the PUE without the prior written approval of the utilities with facilities in the PUE.

**OWNER'S CERTIFICATE**  
KNOW ALL MEN BY THESE PRESENTS: That I, the undersigned, am the owner of the tract of land included within the boundary description shown hereon and have caused the same to be platted into Blocks, Lots and Easements to be hereafter known as Teton Heights, Division No. 6, Jefferson County, Idaho and do hereby rededicate to the public all streets and Right-of-Ways as shown hereon. The rededication of easements shown hereon are not dedicated to the public but the right to use said easements are hereby perpetually reserved for Public Utilities, or for any other use designated on the plat. I also certify that the lots shown on this plat will be served by individual wells and the lands included within this plat will be irrigated in compliance with Jefferson County policy, Water and/or Canal Company regulations and in accordance with Idaho Code 31-3805 (if required).

In Witness Whereof the Undersigned Have Duly Signed this Certificate this 26<sup>th</sup> Day of June, 2025.  
Thomas Jared Ellis - Manager of Rigby 106, LLC

**ACKNOWLEDGMENT**  
State of Idaho  
County of Salt Lake

On this 26<sup>th</sup> day of June, In the Year of 2025, before me the undersigned, a Notary Public in and for said State, Personally Appeared Thomas Jared Ellis, Known or Identified to me to be the Managing Member in the limited liability company of Rigby 106, LLC, and the person who subscribed said company name to the attached Owner's Dedication and acknowledged to me that he executed the same on behalf of Rigby 106, LLC.

Notary Public: [Signature]  
My Commission Expires on: 09/19/2026

**EXAMINING SURVEYOR'S CERTIFICATE**  
I hereby certify that I have examined this subdivision plan and find it to be analytically correct and acceptable as required in Section 50-1305 of the Idaho State Code.

Jeffrey Rowe, P.L.S. License No. 13856  
Date 6-22-25

**HEALTH DEPARTMENT CERTIFICATE**  
Sanitary restrictions as required by Idaho Code, Title 50, Chapter 13 have been satisfied. Sanitary restrictions may be re-imposed, in accordance with Section 50-1326, Idaho Code, by the issuance of a Certificate of Disapproval.

Health District Signature: [Signature]  
Date: 6-27-25

**TREASURER'S AND ASSESSOR'S CERTIFICATE**  
We, the undersigned county treasurer and county assessor in and for the county of Jefferson, State of Idaho, having reviewed this plat as per the requirements of Idaho Code 50-1306, do hereby certify that all county taxes for the property shown and described on this plat as being subdivided, are current.

Parcel Number: AP00701003001A - 8A, AP007010050010 - 180, AP007010060010 - 390, AP007010070010 - 150, AP007010080010 - 380, AP007010090010 - 280  
Jefferson County Assessor: [Signature] 6/30/25  
Jefferson County Treasurer: [Signature] 6/30/25

**CITY OF RIGBY APPROVAL**  
I hereby certify that this plat was reviewed for potential impact to the City of Rigby and is hereby approved by the City as contained herein on this 30<sup>th</sup> Day of June, 2025.

City of Rigby Mayor: [Signature]  
City of Rigby Clerk: [Signature]

**COUNTY APPROVAL**  
The foregoing final plat was duly accepted and approved by Jefferson County, Idaho, by resolution adopted this 30<sup>th</sup> Day of June, 2025.

County Commissioner Chairman: [Signature]  
Planning & Zoning Director: [Signature]  
Jefferson County Public Works Director: [Signature]

**RECORDER'S CERTIFICATE**  
I hereby certify that the foregoing plat of Teton Heights, Division No. 6, Jefferson County, Idaho, was filed for recording in the office of the recorder for Jefferson County on this 30<sup>th</sup> Day of June, 2025, at [Location].

Instrument Number: [Number]  
Jefferson County Recorder: [Signature]

**RECORDER'S INSTRUMENT**  
Instrument # 492362  
RIGBY, JEFFERSON, IDAHO  
6-26-2025 12:40:06 PM No. of Pages: 6  
Recorded for: THOMPSON LAND SURVEYING  
COLLEEN C. POOLE Fee: 11.00  
E-Office Recorder Deputy  
THIS IS SUBDIVISION PLAT



**TETON HEIGHTS, DIVISION NO. 6**  
LOCATED IN THE S 1/2 OF SECTION 29,  
TOWNSHIP 4 NORTH, RANGE 39 EAST OF THE BOISE MERIDIAN,  
JEFFERSON COUNTY, IDAHO

Job Name: Jared Ellis  
Job Number: 2005-036  
CoGo File: Rhodehouse 2001-018.pro

Drawn By: K.S.T.  
Checked By: K.L.T.  
Date: 6/26/2025  
Revision No.  
Scale: 1" = 100'

**THOMPSON**  
LAND SURVEYING, INC.  
215 Farnsworth Way, Rigby, Idaho 83442

Sheet 1 of 6

# TETON HEIGHTS, DIVISION NO. 6

JEFFERSON COUNTY, IDAHO

Being a Replat of all the lots within Teton Heights Division's 2 - 5.  
Located in the S 1/2 of Section 29, T4N R39E, B.M.

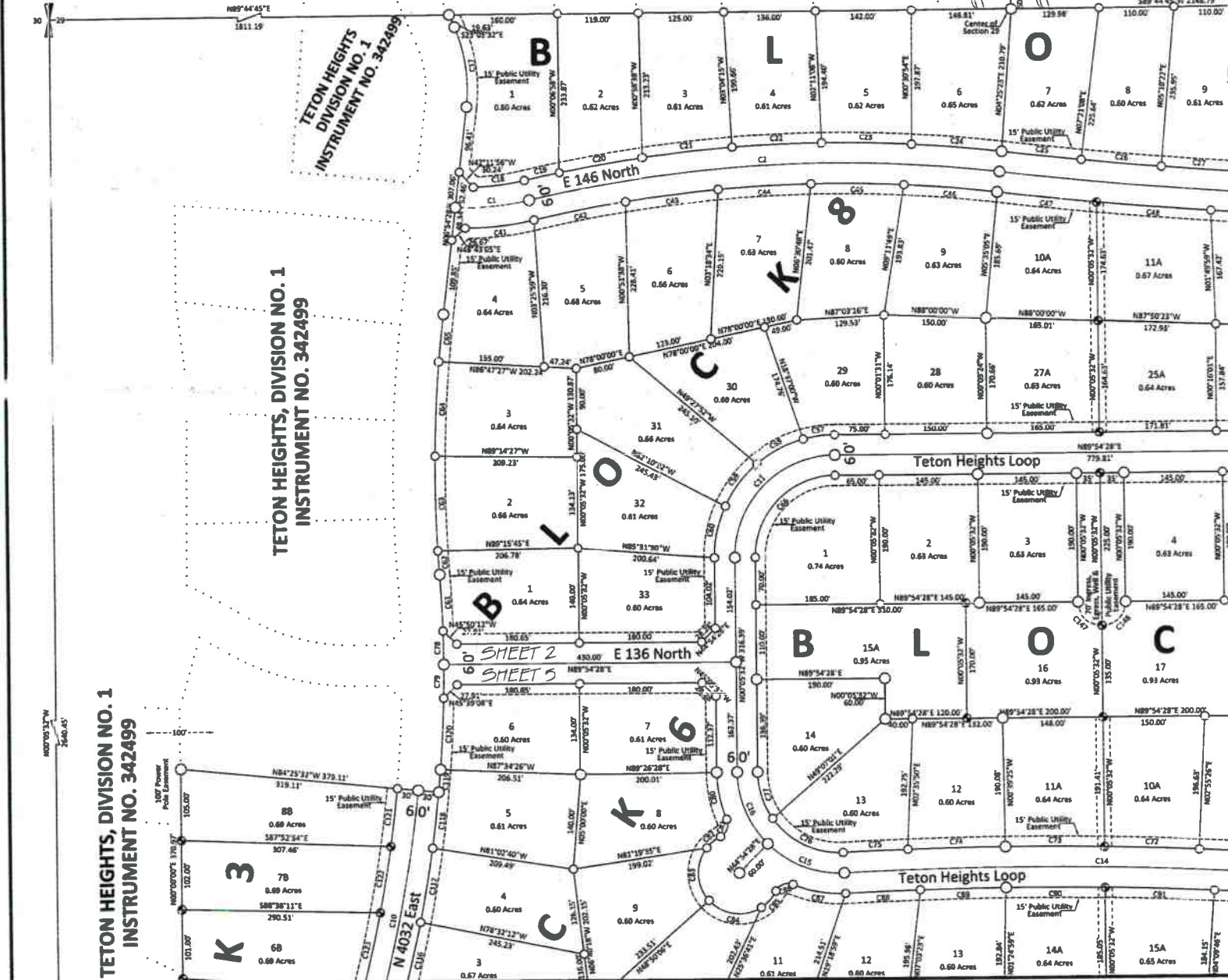
**CREEKSIDE MANOR SUBDIVISION**  
**DIVISION NO. 1, INSTRUMENT NO. 362846**



This document provided courtesy of TitleOne

3/8" Iron Rod Instrument No. 292503

Aluminum Cap Instrument No. 447469



**LEGEND**

- ⊙ Set 1/2" Iron Rod with plastic cap marked "K.L.T. PLS 10563"
- 5/8" Iron Rod with cap marked "K.L.T. PLS 10563"
- 1/2" Iron Rod with cap marked "K.L.T. PLS 10563"
- Calculated position (no monument found or set)
- - - 15' Public Utility Easement or as Noted
- ..... Neighboring Property Lines



**SURVEYOR'S CERTIFICATE**

I, Kevin L. Thompson, a Licensed Professional Land Surveyor in the State of Idaho, do hereby certify that the survey of this subdivision, designated as Teton Heights, Division No. 6, Jefferson County, Idaho, was made by me or under my direction, and that said subdivision is Truly and Correctly Staked as Required by Law and in Accordance with the Accompanying Plat.

*Kevin L. Thompson* 6-26-2025  
Kevin L. Thompson, P.L.S. License No. 10563 Date

**RECORDER'S CERTIFICATE**

I hereby certify that the foregoing plat of Teton Heights, Division No. 6, Jefferson County, Idaho, was filed for recording in the office of the recorder for Jefferson County on this \_\_\_\_\_ Day of \_\_\_\_\_, 2025, at \_\_\_\_\_

Instrument Number: \_\_\_\_\_  
Jefferson County Recorder: \_\_\_\_\_

**RECORDER'S INSTRUMENT**

Instrument # 492362  
RIGBY, JEFFERSON, IDAHO  
6-29-2025 12:48:36 PM No. of Pages: 8  
Recorded for: THOMPSON LAND SURVEYING  
COLLEEN C. POOLE Fee: 11.88  
Ex-Officio Recorder Deputy  
1000 W. SUBDIVISION PLAT



**TETON HEIGHTS, DIVISION NO. 6**

LOCATED IN THE S 1/2 OF SECTION 29,  
TOWNSHIP 4 NORTH, RANGE 39 EAST OF THE BOISE MERIDIAN,  
JEFFERSON COUNTY, IDAHO

Job Name: Jared Ellis  
Job Number: 2005-036  
CoGo File: Rhodhouse 2001-018.pro

Drawn By: K.S.T.  
Checked By: K.L.T.  
Date: 6/26/2025  
Revision No. \_\_\_\_\_  
Scale: 1" = 100'



Sheet 2 Of 6

TETON HEIGHTS, DIVISION NO. 1  
INSTRUMENT NO. 342499

TETON HEIGHTS, DIVISION NO. 1  
INSTRUMENT NO. 342499

TETON HEIGHTS  
DIVISION NO. 1  
INSTRUMENT NO. 342499


SHEET 2  
SHEET 3

# TETON HEIGHTS, DIVISION NO. 6

JEFFERSON COUNTY, IDAHO

Being a Replat of all the lots within Teton Heights Division's 2 - 5.  
Located in the S 1/2 of Section 29, T4N R39E, R.M.

ROCKY MOUNTAIN ESTATES SUBDIVISION  
DIVISION NO. 3, INSTRUMENT NO. 338194

 This document provided courtesy of TitleOne

Aluminum Cap Instrument No. 345379



- LEGEND**
- Set 1/2" Iron Rod with plastic cap marked "K.L.T. PLS 10563"
  - 5/8" Iron Rod with cap marked "K.L.T. PLS 10563"
  - 1/2" Iron Rod with cap marked "K.L.T. PLS 10563"
  - Calculated position (no monument found or set)
  - - - 15' Public Utility Easement or as Noted
  - ..... Neighboring Property Lines



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*Kevin L. Thompson* 6/26/2025  
Kevin L. Thompson, P.L.S. License No. 10563 Date

**RECORDER'S CERTIFICATE**  
I hereby certify that the foregoing plat of Teton Heights, Division No. 6, Jefferson County, Idaho, was filed for recording in the office of the recorder for Jefferson County on this \_\_\_\_\_ Day of \_\_\_\_\_, 2025, at \_\_\_\_\_

Instrument Number: \_\_\_\_\_  
Jefferson County Recorder: \_\_\_\_\_

**RECORDER'S INSTRUMENT**

Instrument # 492362  
RIGBY, JEFFERSON, IDAHO  
6-30-2025 12:40 PM No. of Pages: 6  
Recorded by THOMPSON LAND SURVEYING  
COLLEEN C. POOLE Fee: 11.00  
E.I. Office Recorder Deputy  
11/14/16 10:58 AM (PLAT)



**TETON HEIGHTS, DIVISION NO. 6**

LOCATED IN THE S 1/2 OF SECTION 29,  
TOWNSHIP 4 NORTH, RANGE 39 EAST OF THE BOISE MERIDIAN,  
JEFFERSON COUNTY, IDAHO

Job Name: Jared Ellis	Drawn By: K.S.T.
Job Number: 2005-036	Checked By: K.L.T.
CoGo File: Rhodehouse 2001-018.pro	Date: 6/26/2025
	Revision No.
	Scale: 1" = 100'

**THOMPSON**  
LAND SURVEYING, INC.  
215 Farnsworth Way, Rigby, Idaho 83442

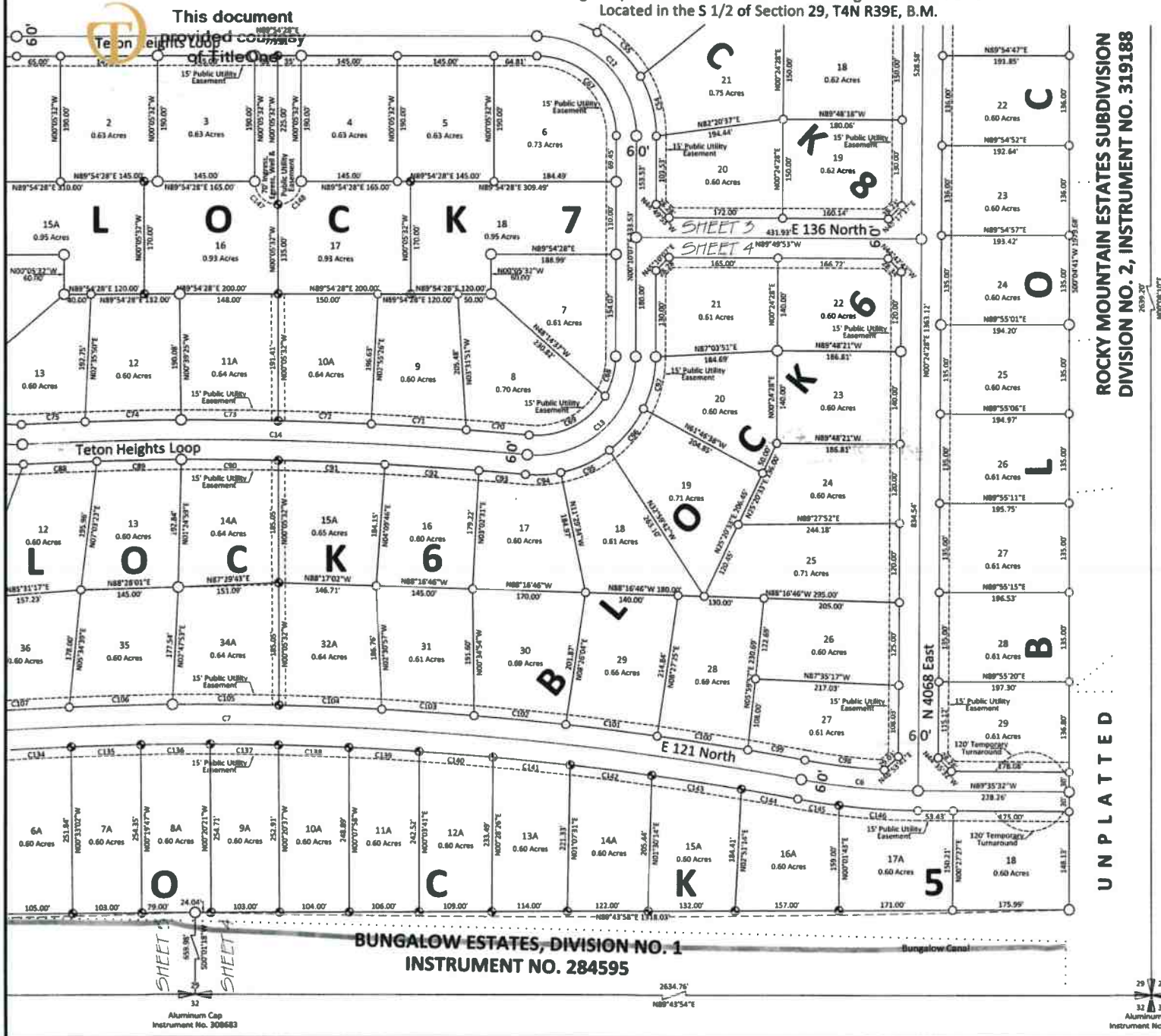
Sheet 3 Of 6

ROCKY MOUNTAIN ESTATES SUBDIVISION  
DIVISION NO. 2, INSTRUMENT NO. 319188

# TETON HEIGHTS, DIVISION NO. 6

JEFFERSON COUNTY, IDAHO

Being a Replat of all the lots within Teton Heights Division's 2 - 5.  
Located in the S 1/2 of Section 29, T4N R39E, B.M.



- LEGEND**
- ⊙ Set 1/2" Iron Rod with plastic cap marked "K.L.T. PLS 10563"
  - 5/8" Iron Rod with cap marked "K.L.T. PLS 10563"
  - 1/2" Iron Rod with cap marked "K.L.T. PLS 10563"
  - Calculated position (no monument found or set)
  - - - 15' Public Utility Easement or as Noted
  - ..... Neighboring Property Lines



**SURVEYOR'S CERTIFICATE**  
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Kevin L. Thompson, P.L.S. License No. 10563      Date: 6/26/2025

**RECORDER'S CERTIFICATE**  
I hereby certify that the foregoing plat of Teton Heights, Division No. 6, Jefferson County, Idaho, was filed for recording in the office of the recorder for Jefferson County on this \_\_\_\_\_ Day of \_\_\_\_\_, 2025, at \_\_\_\_\_

Instrument Number: \_\_\_\_\_  
Jefferson County Recorder: \_\_\_\_\_

**RECORDER'S INSTRUMENT**

Instrument # 492362  
RIGBY, JEFFERSON, IDAHO  
6-26-2025 12:40:06 PM No. of Pages: 8  
Reviewed by: THOMPSON LAND SURVEYING  
COLLEEN C. POOLE      Date: 6/26/2025  
Co-Officer Recorder Deputy  
Title by SUBSCRIPTION PLAT



**TETON HEIGHTS, DIVISION NO. 6**

LOCATED IN THE S 1/2 OF SECTION 29,  
TOWNSHIP 4 NORTH, RANGE 39 EAST OF THE BOISE MERIDIAN,  
JEFFERSON COUNTY, IDAHO

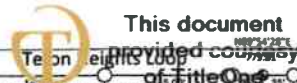
Job Name: Jared Ellis	Drawn By: K.S.T.
Job Number: 2005-036	Checked By: K.L.T.
CoGo File: Rhodehouse 2001-018.pro	Date: 6/26/2025
	Revision No.
	Scale: 1" = 100'

**THOMPSON**  
LAND SURVEYING, INC.  
215 Farnsworth Way, Rigby, Idaho 83442

Sheet 4 Of 6

ROCKY MOUNTAIN ESTATES SUBDIVISION  
DIVISION NO. 2, INSTRUMENT NO. 319188

UN PL AT T E D



This document  
is provided courtesy  
of Title One

Aluminum Cap  
Instrument No. 308683

29 28  
32 33  
Aluminum Cap  
Instrument No. 465815



# TETON HEIGHTS, DIVISION NO. 6

## JEFFERSON COUNTY, IDAHO

Being a Replat of all the lots within Teton Heights Division's 2 - 5.  
Located in the S 1/2 of Section 29, T4N R39E, B.M.



This document  
provided courtesy  
of TitleOne



CURVE TABLE					
CURVE	ARC	RADIUS	DELTA	BEARING	DISTANCE
C1	108.60	400.00	15°41'56"	N84°45'26"E	108.26
C2	688.13	2000.00	30°00'00"	S86°54'28"W	684.59
C3	837.78	8000.00	0°00'00"	S87°05'32"E	837.06
C4	119.77	150.00	45°45'00"	N68°13'02"W	116.62
C5	119.77	150.00	45°45'00"	N22°28'02"W	116.62
C6	176.94	1013.82	10°00'00"	S84°33'32"E	176.72
C7	1745.33	5000.00	20°00'00"	N89°35'32"W	1736.48
C8	87.27	500.00	10°00'00"	N85°24'28"E	87.16
C9	157.08	503.00	18°00'00"	S08°34'28"W	156.43
C10	392.54	1874.24	12°00'00"	N11°34'28"E	381.82
C11	285.62	150.00	90°00'00"	S44°54'28"W	212.13
C12	236.30	150.00	90°15'39"	N44°57'43"W	212.61
C13	248.71	150.00	95°00'00"	N47°40'07"E	221.18
C14	758.17	5430.00	8°00'00"	N88°49'53"W	757.56
C15	124.98	150.00	47°44'21"	S68°57'43"E	121.40
C16	117.81	150.00	45°00'00"	S22°35'32"E	114.81
C17	120.43	230.00	30°00'00"	N08°05'32"W	118.06
C18	76.12	370.00	11°47'12"	N82°48'04"E	75.98
C19	53.15	200.00	1°30'00"	S77°39'28"W	53.14
C20	124.01	2080.00	3°30'00"	S80°09'28"W	123.99
C21	132.86	2080.00	3°45'00"	S83°46'58"W	132.84
C22	132.86	2080.00	3°45'00"	S87°31'56"W	132.84
C23	132.86	2080.00	3°45'00"	N88°43'02"W	132.84
C24	132.86	2080.00	3°45'00"	N84°58'02"W	132.84
C25	118.08	5870.00	1°08'00"	S83°59'32"E	118.08
C26	118.08	5970.00	1°08'00"	S84°47'32"E	118.08
C27	111.14	5970.00	1°04'00"	S85°53'32"E	111.14
C28	111.14	5970.00	1°04'00"	S86°57'32"E	111.14
C29	111.14	5970.00	1°04'00"	S88°01'32"E	111.14
C30	111.14	5970.00	1°04'00"	S89°05'32"E	111.14
C31	111.14	5970.00	1°04'00"	N89°50'28"E	111.14
C32	41.68	5870.00	0°24'00"	N88°08'28"E	41.68
C33	25.13	180.00	0°00'00"	N67°05'32"W	25.11
C34	48.44	180.00	15°25'06"	N75°22'59"W	48.29
C35	29.88	20.00	85°52'42"	N69°23'13"E	27.25
C36	110.40	60.00	105°25'12"	S79°09'28"W	95.47
C37	95.29	60.00	91°00'00"	N02°37'56"W	85.59
C38	20.84	60.00	20°00'00"	N52°52'04"E	20.84
C39	29.88	20.00	85°52'42"	S19°55'43"W	27.25
C40	73.57	180.00	23°25'06"	N11°18'05"W	73.06
C41	102.22	430.00	13°37'14"	N83°43'05"E	101.98
C42	137.53	1970.00	4°00'00"	S78°54'28"W	137.50
C43	137.53	1970.00	4°00'00"	S82°54'28"W	137.50
C44	137.53	1970.00	4°00'00"	S86°54'28"W	137.50
C45	137.53	1970.00	4°00'00"	N89°05'32"W	137.50
C46	137.53	1970.00	4°00'00"	N85°08'32"W	137.50
C47	147.42	6030.00	1°24'09"	S83°47'33"E	147.42
C48	168.31	6030.00	1°35'57"	S85°17'33"E	168.30
C49	157.87	6030.00	1°30'00"	S86°50'32"E	157.86
C50	157.87	6030.00	1°30'00"	S88°20'32"E	157.86

CURVE TABLE					
CURVE	ARC	RADIUS	DELTA	BEARING	DISTANCE
C51	157.87	6030.00	1°30'00"	S88°50'32"E	157.86
C52	52.62	6030.00	0°00'00"	N89°09'28"E	52.62
C53	191.64	120.00	91°30'00"	N48°20'32"W	171.91
C54	94.25	180.00	30°00'00"	N14°49'53"W	93.17
C55	94.25	180.00	30°00'00"	N44°49'53"W	93.17
C56	95.07	180.00	30°15'39"	N74°57'43"W	93.97
C57	47.12	180.00	15°00'00"	S82°24'28"W	46.99
C58	78.54	180.00	25°00'00"	S62°24'28"W	77.92
C59	78.54	180.00	25°00'00"	S37°24'28"W	77.92
C60	78.54	180.00	25°00'00"	S12°24'28"W	77.92
C61	83.45	1804.24	2°30'40"	N02°50'12"W	83.45
C62	34.90	1999.34	1°00'00"	S09°35'32"E	34.90
C63	138.62	1999.34	4°00'00"	S01°05'32"E	138.59
C64	138.62	1999.34	4°00'00"	S02°54'28"W	138.59
C65	68.81	1999.34	2°00'00"	S05°54'28"W	68.81
C66	188.50	120.00	90°00'00"	S44°54'28"W	166.71
C67	188.04	120.00	90°15'39"	N44°57'43"W	170.09
C68	62.83	120.00	30°00'00"	N15°10'07"E	62.12
C69	136.14	120.00	65°00'00"	N62°40'07"E	128.95
C70	95.29	5460.00	1°00'00"	N85°19'53"W	95.29
C71	142.94	5460.00	1°30'00"	N86°34'53"W	142.94
C72	139.75	5460.00	1°27'59"	N88°09'53"W	139.74
C73	146.14	5460.00	1°32'01"	N89°33'53"W	146.14
C74	142.94	5460.00	1°30'00"	S88°55'07"W	142.94
C75	95.29	5460.00	1°00'00"	S87°40'07"E	95.29
C76	120.93	1260.00	5°44'21"	S63°57'43"E	115.83
C77	73.30	1260.00	35°00'00"	S17°35'32"E	72.17
C78	49.48	1804.24	1°29'20"	N00°50'12"W	49.48
C79	48.48	1804.24	1°29'20"	N00°39'08"E	48.48
C80	71.11	1800.00	22°40'08"	S13°25'35"E	70.75
C81	29.98	20.00	85°52'42"	N20°10'49"E	27.25
C82	26.18	60.00	25°00'00"	S80°37'04"W	25.97
C83	83.78	60.00	80°00'00"	S01°52'56"E	77.13
C84	83.78	60.00	80°00'00"	S81°32'56"E	77.13
C85	32.90	60.00	31°25'12"	N42°24'28"E	32.49
C86	29.98	20.00	85°52'42"	S69°38'13"W	27.25
C87	79.82	180.00	25°24'28"	S80°07'40"E	79.17
C88	109.96	5400.00	1°10'00"	S87°45'07"W	109.95
C89	125.66	5400.00	1°20'00"	S89°00'07"W	125.66
C90	145.89	5400.00	1°32'53"	N89°33'27"W	145.89
C91	160.42	5400.00	1°42'07"	N87°35'57"W	160.41
C92	141.37	5400.00	1°30'00"	N86°19'53"W	141.37
C93	70.69	5400.00	0°45'00"	N85°12'23"W	70.69
C94	53.41	180.00	17°00'00"	N86°40'07"E	53.21
C95	81.68	180.00	26°00'00"	N85°10'07"E	80.98
C96	81.68	180.00	26°00'00"	N39°10'07"E	80.98
C97	81.68	180.00	26°00'00"	N13°10'07"E	80.98
C98	120.65	983.82	7°01'35"	S83°06'19"E	120.57
C99	87.79	5030.00	1°00'00"	N89°05'32"W	87.79
C100	139.00	5030.00	1°35'00"	N81°23'02"W	139.00

CURVE TABLE					
CURVE	ARC	RADIUS	DELTA	BEARING	DISTANCE
C101	139.00	5030.00	1°35'00"	N82°58'02"W	139.00
C102	139.00	5030.00	1°35'00"	N84°23'02"W	139.00
C103	139.00	5030.00	1°35'00"	N86°08'02"W	139.00
C104	154.66	5030.00	1°45'42"	N87°48'23"W	154.66
C105	159.92	5030.00	1°49'18"	N89°35'53"W	159.91
C106	153.63	5030.00	1°45'00"	S88°36'56"W	153.63
C107	146.32	5030.00	1°40'00"	S86°54'28"W	146.31
C108	153.63	5030.00	1°45'00"	S85°11'58"W	153.63
C109	131.69	5030.00	1°30'00"	S83°34'28"W	131.68
C110	124.37	5030.00	1°25'00"	S82°06'58"W	124.37
C111	87.79	5030.00	1°00'00"	S80°54'28"W	87.79
C112	82.03	470.00	10°00'00"	N85°24'28"E	81.93
C113	73.83	470.00	9°00'00"	S04°04'28"W	73.75
C114	73.83	470.00	9°00'00"	S13°04'28"W	73.75
C115	94.17	1904.24	2°50'00"	N16°08'28"E	94.16
C116	110.78	1904.24	3°20'00"	N13°04'28"E	110.77
C117	110.78	1904.24	3°20'00"	N09°44'28"E	110.77
C118	83.05	1904.24	2°30'00"	N06°49'28"E	83.08
C119	33.24	1904.24	1°00'00"	S82°06'58"W	33.23
C120	105.61	1904.24	3°10'40"	N02°59'08"E	105.60
C121	86.00	1844.24	2°40'18"	N08°54'37"E	85.99
C122	99.00	1844.24	3°04'32"	N09°47'08"E	98.99
C123	116.00	1844.24	3°36'14"	N13°07'19"E	115.98
C124	85.26	1844.24	2°38'55"	N16°15'00"E	85.25
C125	29.50	530.00	3°11'21"	S15°58'48"W	29.50
C126	95.00	530.00	10°16'14"	S09°15'00"W	94.88
C127	42.00	530.00	4°32'26"	S01°50'39"W	41.99
C128	92.50	530.00	10°00'00"	N85°24'28"E	92.39
C129	67.77	4970.00	0°46'53"	S80°47'54"W	67.77
C130	126.00	4970.00	1°27'09"	S81°54'55"W	126.00
C131	118.00	4970.00	1°21'37"	S83°19'18"W	118.00
C132	112.00	4970.00	1°17'28"	S84°38'51"W	112.00
C133	108.00	4970.00	1°14'42"	S85°54'56"W	108.00
C134	105.00	4970.00	1°12'38"	S87°08'36"W	105.00
C135	104.00	4970.00	1°11'56"	S88°20'33"W	104.00
C136	103.00	4970.00	1°11'15"	S89°32'39"W	103.00
C137	102.00	4970.00	1°11'15"	N89°16'16"W	103.00
C138	105.00	4970.00	1°12'38"	N88°04'20"W	105.00
C139	107.00	4970.00	1°14'01"	N86°51'01"W	107.00
C140	111.00	4970.00	1°16'47"	N85°35'37"W	111.00
C141	117.00	4970.00	1°20'56"	N84°16'46"W	116.99
C142	124.00	4970.00	1°25'46"	N82°53'25"W	123.99
C143	137.34	4970.00	1°35'00"	N81°23'02"W	137.34
C144	86.74	4970.00	1°00'00"	N80°05'32"W	86.74
C145	63.18	1043.82	3°28'05"	S81°19'34"E	63.17
C146	119.00	1043.82	6°31'55"	S86°19'32"E	118.94
C147	54.98	35.00	80°00'00"	S45°05'32"E	49.50
C148	54.98	35.00	80°00'00"	N44°54'28"E	49.50

### LEGEND

- Set 1/2" Iron Rod with plastic cap marked "K.L.T. PLS 10563"
- 5/8" Iron Rod with cap marked "K.L.T. PLS 10563"
- 1/2" Iron Rod with cap marked "K.L.T. PLS 10563"
- Calculated position (no monument found or set)
- 45' Public Utility Easement or as Noted
- ..... Neighboring Property Lines



**SURVEYOR'S CERTIFICATE**  
I, Kevin L. Thompson, a Licensed Professional Land Surveyor in the State of Idaho, do hereby certify that the survey of this subdivision, designated as Teton Heights, Division No. 6, Jefferson County, Idaho, was made by me or under my direction, and that said subdivision is Truly and Correctly Staked as Required by Law and in Accordance with the Accompanying Plat.  
*Kevin L. Thompson* 6-26-2025  
Kevin L. Thompson, P.L.S. License No. 10563 Date

**RECORDER'S CERTIFICATE**  
I hereby certify that the foregoing plat of Teton Heights, Division No. 6, Jefferson County, Idaho, was filed for recording in the office of the recorder for Jefferson County on this  
Day of \_\_\_\_\_, 2025, at \_\_\_\_\_

Instrument Number: \_\_\_\_\_  
Jefferson County Recorder, \_\_\_\_\_

### RECORDER'S INSTRUMENT

Instrument # 492362  
ROBY, JEFFERSON, IDAHO  
6-26-2025 12:49:28 PM No. of Pages: 6  
Recorded for: THOMPSON LAND SURVEYING  
COLLEEN C. POOLE Fee: 11.88  
Ex-Officio Recorder Deputy  
IDBY ME SUBDIVISION PLAT



## TETON HEIGHTS, DIVISION NO. 6

LOCATED IN THE S 1/2 OF SECTION 29,  
TOWNSHIP 4 NORTH, RANGE 39 EAST OF THE BOISE MERIDIAN,  
JEFFERSON COUNTY, IDAHO

Job Name: Jared Ellis  
Job Number: 2005-036  
CoGo File: Rhodehouse 2001-018.pro  
Drawn By: K.S.T.  
Checked By: K.L.T.  
Date: 6/26/2025  
Revision No.  
Scale: 1" = 100'  
Sheet 6 Of 6